



CENTENE CLAYTON CAMPUS,
Special Development District, SD1 and SD2A
December 5th Planning Commission and ARB Meeting

1. Resubmitting our Special Development District
Questions and clarifications
Design Presentation
2. Subdistrict 1
Design Presentation
3. Subdistrict 2A
Design Presentation

AGENDA

December 5th Planning Commission and ARB Meeting



SPECIAL DEVELOPMENT DISTRICT
SDD + Site Plan Review + Architectural Review Board ReSubmittal
December 5, 2016

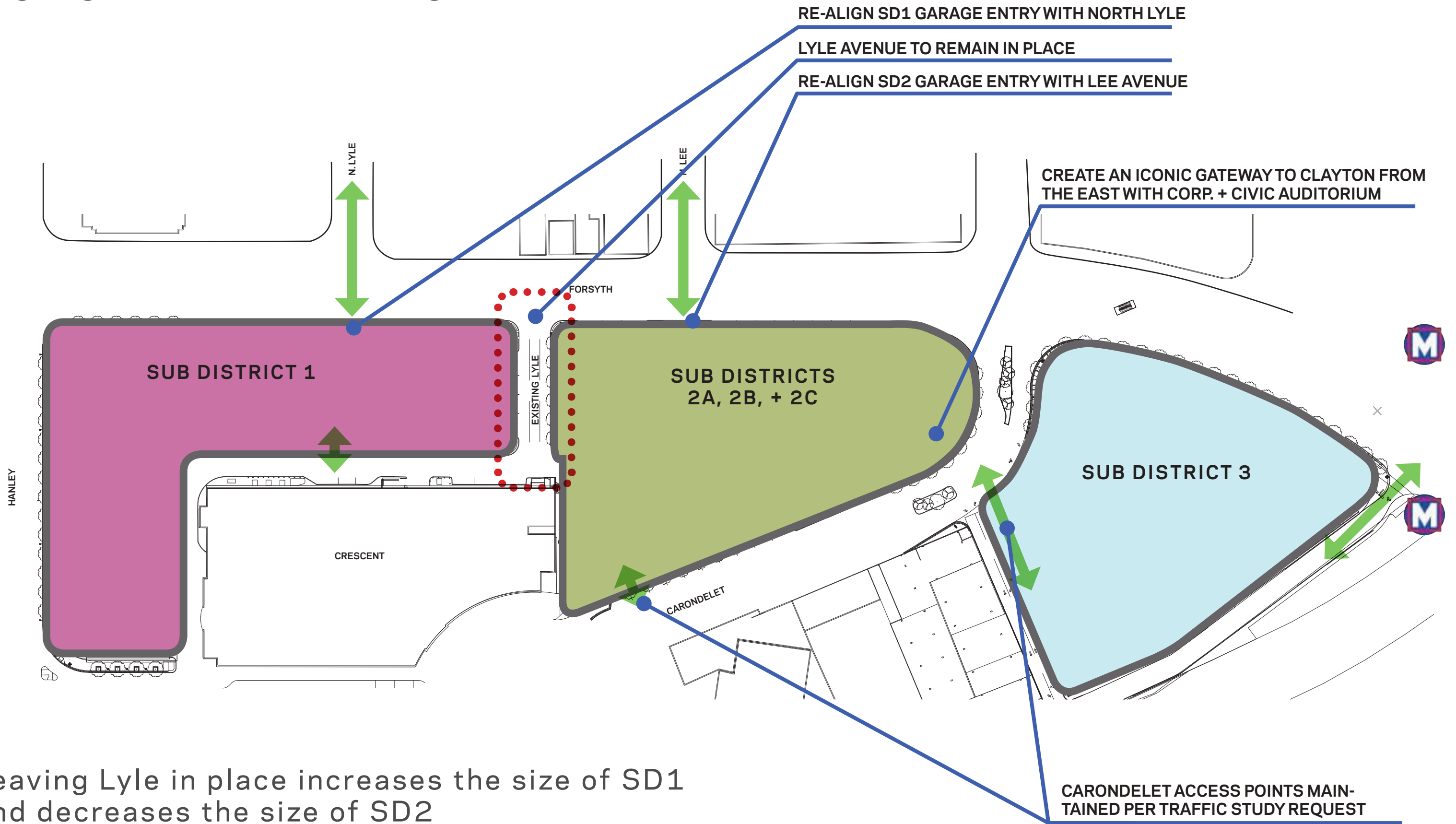


Why is the development team resubmitting the overall SDD?

Response: The development team has updated the overall SDD to reflect the September 2nd City staff and ARB's items for conditional approval that asked the development team to address: traffic, pedestrian connections, and active street frontages.

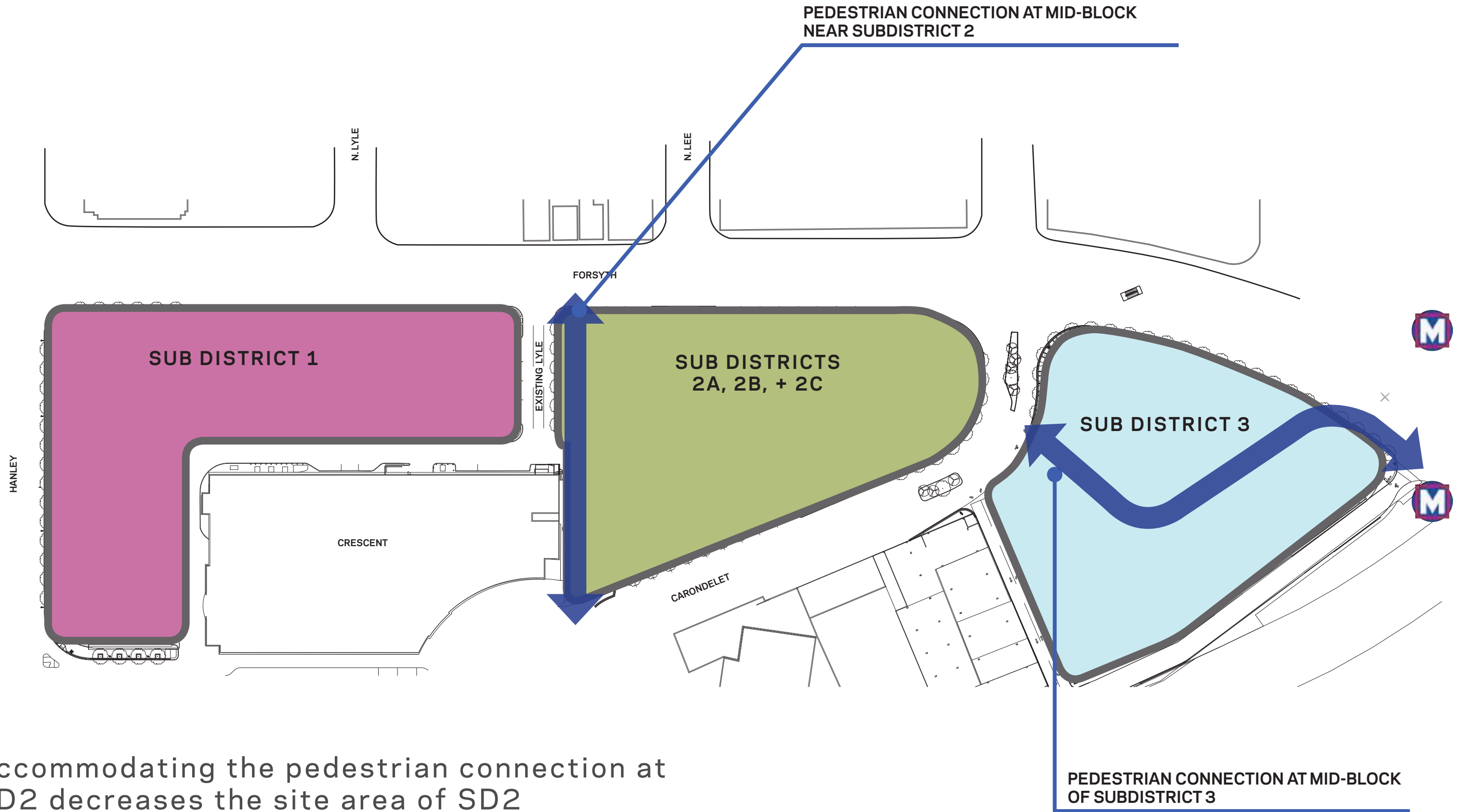
1. Modify the SD1 and SD2 plan arrangement per comment 8.i.ii, that **leaves South Lyle in place and aligns garage entries at signal locations for existing North Lyle Avenue and Lee.**
2. Per comment 7, modify the SD3 plan to provide a publicly accessible pedestrian connections between the Metrolink station and Subdistrict 3, **[and modify the SD2 plan for a] mid-block between Forsyth Boulevard and Carondelet Plaza in Subdistrict 2.**
3. Per comment 1, **provide active retail, commercial, or residential uses along street frontages.**
4. To provide a **true gateway into Clayton from the east by creating an iconic piece of architecture in the new Corporate+Civic Auditorium.**

Aligning entries and traffic signals

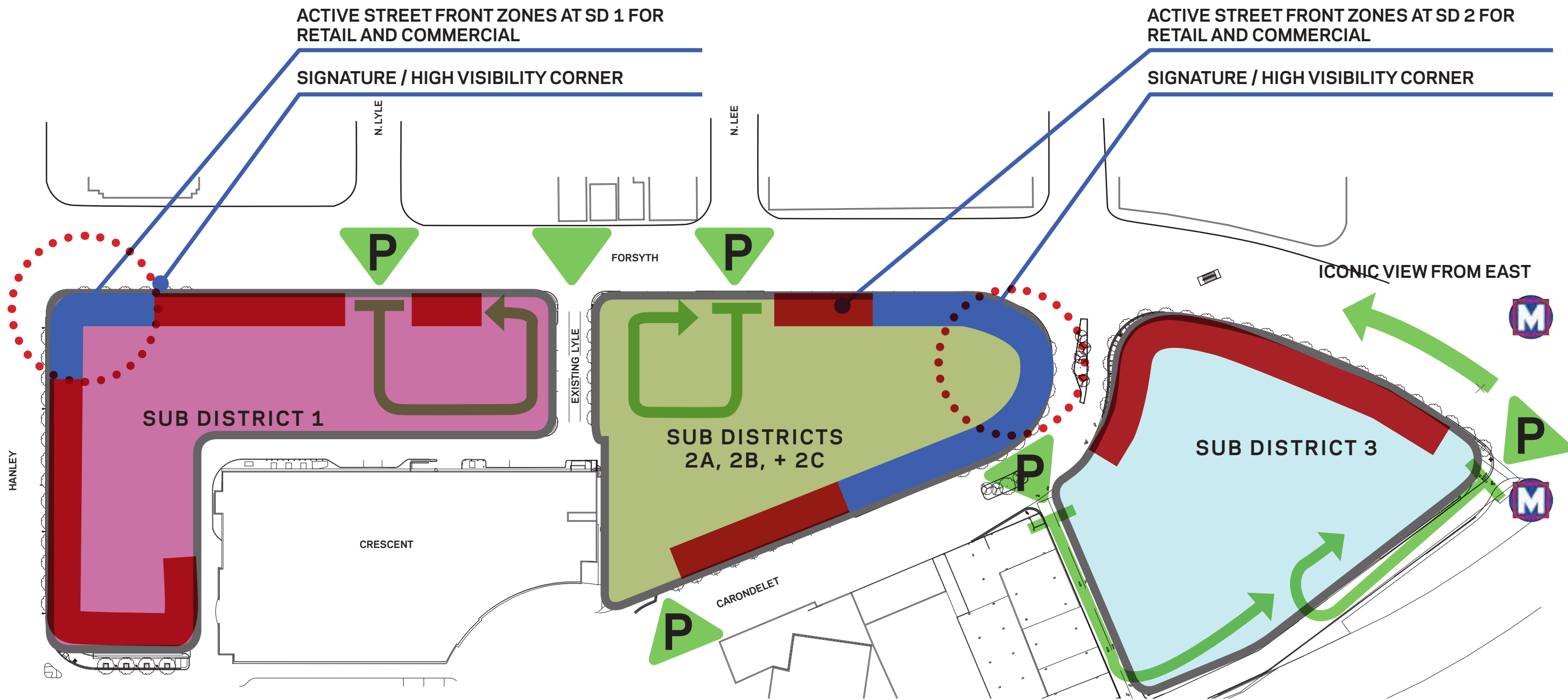


Leaving Lyle in place increases the size of SD1 and decreases the size of SD2

Pedestrian Mid-block connections



Active Streets



A desire to activate more street frontage and put areas of focus at key corners adjusted ground floor uses

Is this new SDD completely different? Are there different heights or building densities now?

Response: **No**. The overall construction area that Centene is requesting in this updated SDD has, in fact, been reduced slightly from 4.58M square feet to 4.32M square feet. A few key details:

1. The majority of the reduced area can be attributed to **a removal of approximately 235,000 sf of structured parking** from the project, in alignment with the approved maximum 5,800 parking spaces.
2. Total **office space remains essentially the same**, with only a 1.6% reduction from September's approval to the current, more detailed design - 1.397M square feet in our current SDD versus 1.420M square feet in September's approval.
3. The balance of **housing, retail, retail-ready, and corporate lodging space remained essentially the same**, with a only a 5.3% increase in area as the design has progressed. This added area is approximately the same square footage that was reduced from the office area.
4. **The overall tower heights and heights along Forsyth are unchanged** between our current SDD and September's approval. We are asking for an additional 50' of height for the residences on SD2 to accommodate the reduced site area that resulted from the city's requests for traffic and connections.

Is Centene trying to over-develop this first phase with SD1 and SD2, even though the overall SDD is comparable?

Response: **No**. There will be more detail in the specific SD1 and SD2A presentations, but in general the first phase we are seeking approval is in line with the overall approach we've taken for the SDD: less parking, more active streets, all while maintaining density in line with what was approved:

1. The total current construction area for **SD1 and SD2 combined is only 2.17% larger than what was submitted in September and approved**. This increase of approximately 48,000 square feet is attributed to the redistribution of program on the new subdistrict boundaries.
2. The current design proposes **200 LESS parking spaces** on SD1 and SD2 now than what we submitted in September for the same areas. This results in **61,000 square feet less structured parking** than what was submitted and approved in September.
3. Approximately **15,000 square feet more retail and retail-ready space** is now being designed into SD1 and SD2 than what was submitted and approved in September.
4. The addition of a world-class Corporate+Civic Auditorium now **relocated it to SD2B to expedite its construction** and take advantage of activating a signature street corner in Clayton on Forsyth. We've done this without compromising other objectives of the SDD or major changes to the density on SD1 and SD2.

Why is SD2 being broken into three different parcels, and only the garage being submitted today?

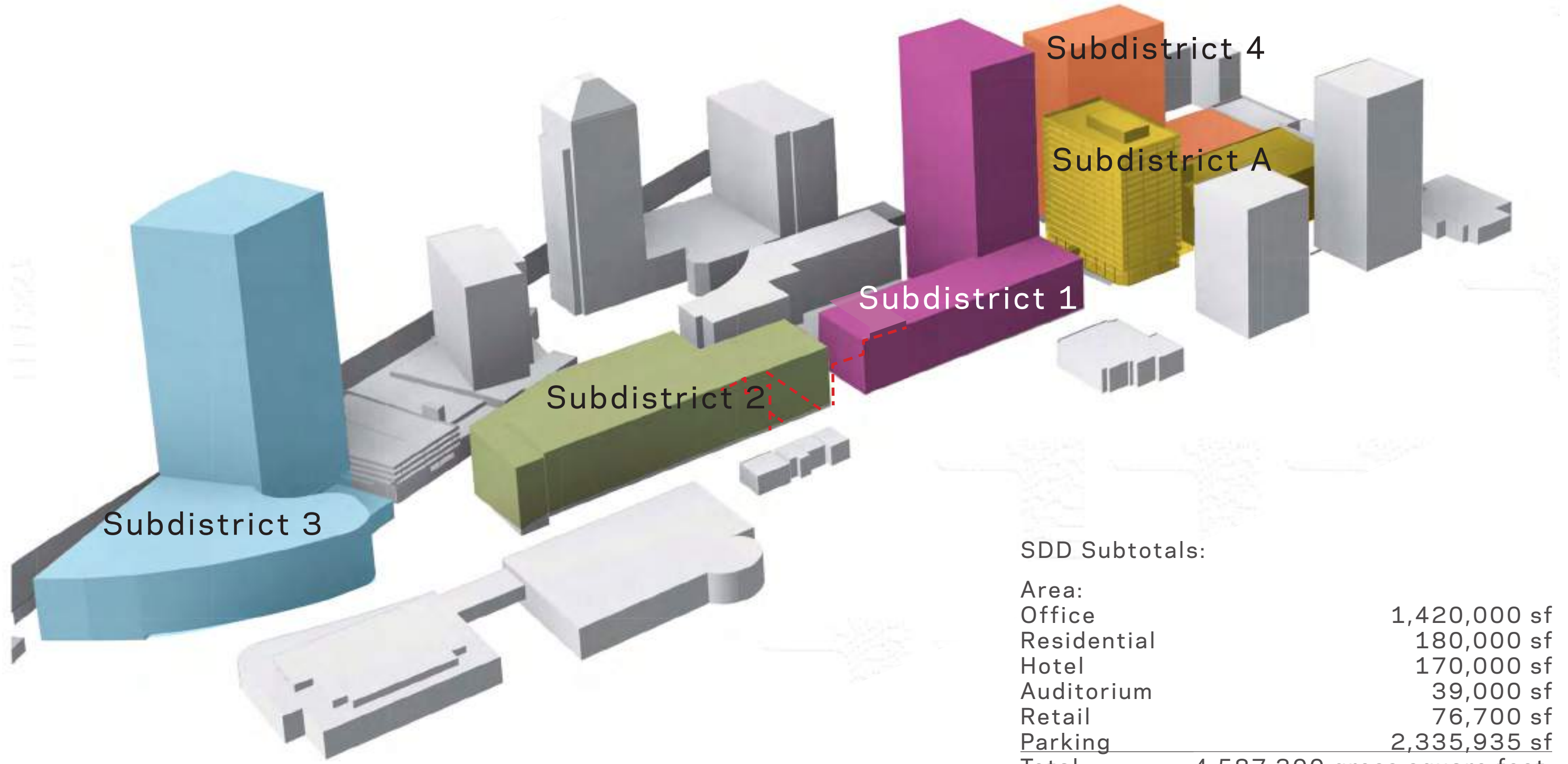
Response: In order to facilitate the construction of a new, three-story facility for Wellbridge and street-facing retail at the corner of Forsyth and Hanley, new parking must be accommodated quickly on SD2. This will allow for concurrent construction of the SD1 tower and parking on 2A, with the SD1 garage phased after Wellbridge is relocated to the new facility.

Phase 2B will construct the new Corporate+Civic Auditorium.

Phase 2C will construct a new residential development.

Given their complexity of design, 2B and 2C will have longer timeframes to develop and seek approvals than the planning of the 2A garage.

Special Development District (SDD)
 Summary: September 13, 2016

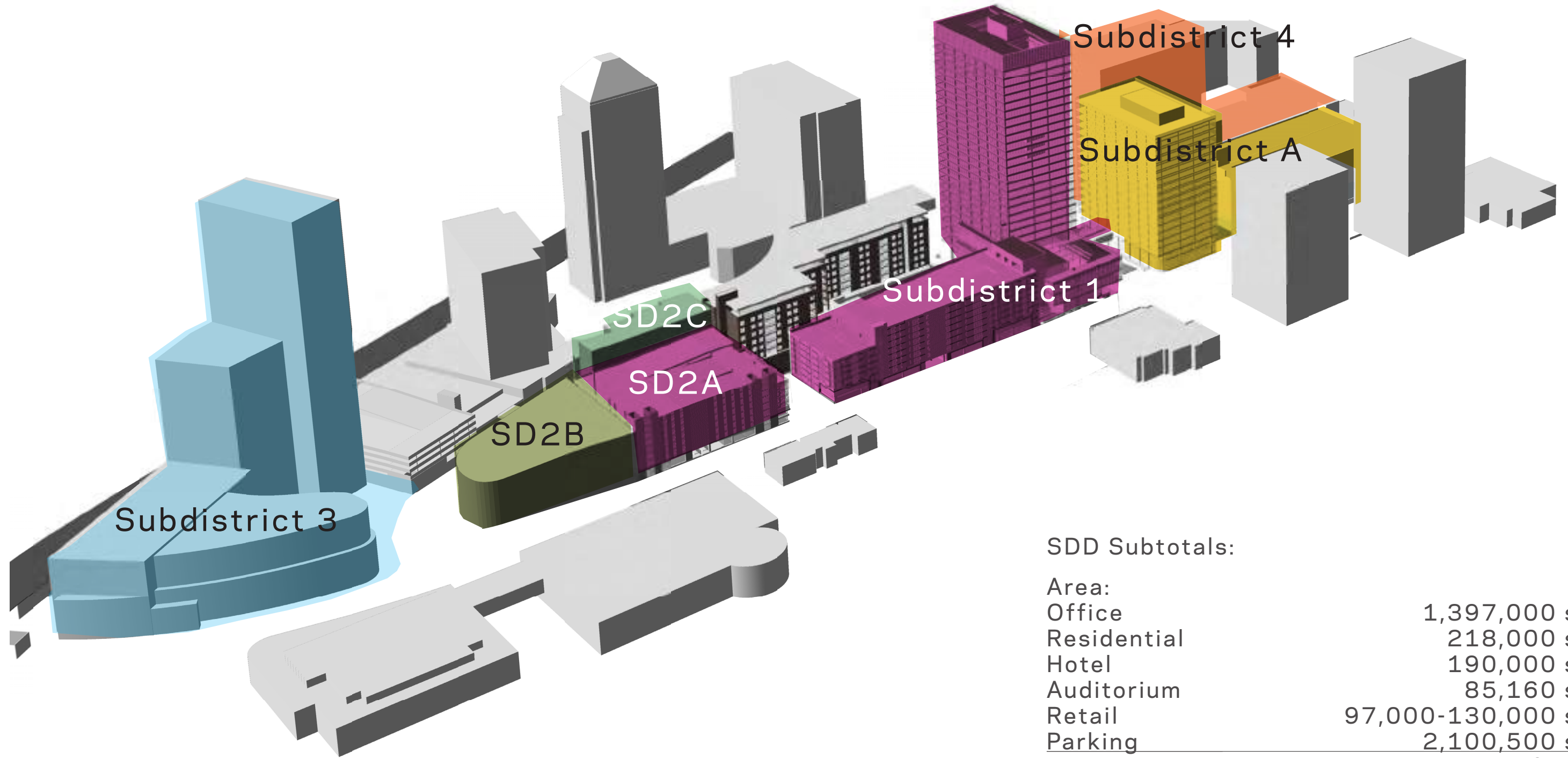


SDD Subtotals:

Area:	
Office	1,420,000 sf
Residential	180,000 sf
Hotel	170,000 sf
Auditorium	39,000 sf
Retail	76,700 sf
Parking	2,335,935 sf
Total	4,587,300 gross square feet

note: mechanical areas not listed but included in total

Special Development District (SDD)
 Summary: November 21, 2016 Resubmittal



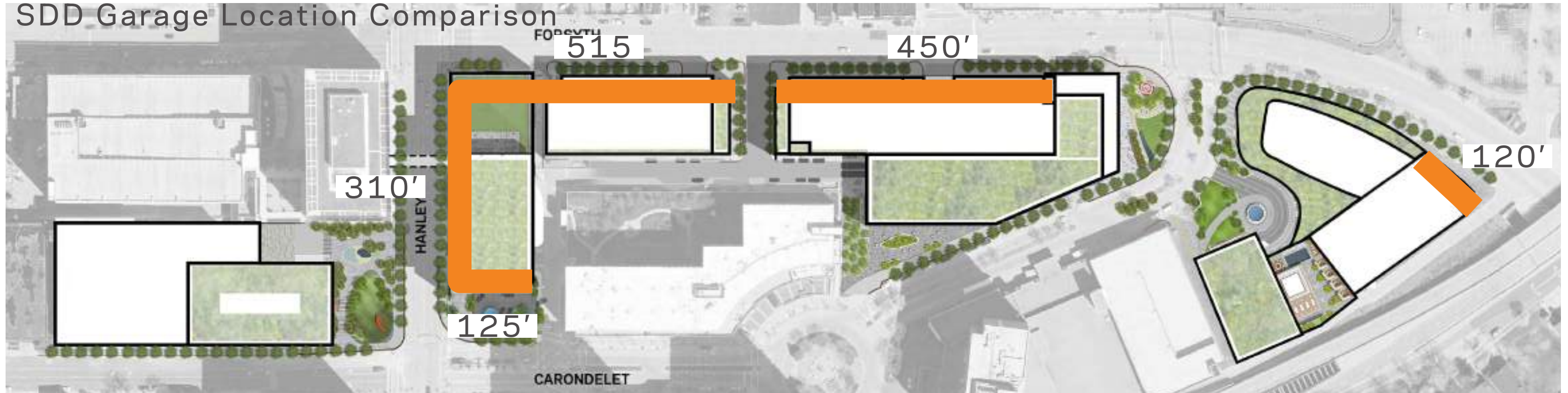
SDD Subtotals:

Area:	
Office	1,397,000 sf
Residential	218,000 sf
Hotel	190,000 sf
Auditorium	85,160 sf
Retail	97,000-130,000 sf
Parking	2,100,500 sf
Total	4,322,800 gross square feet

note: mechanical areas not listed but included in total



SDD Garage Location Comparison



FORSYTH	1,085 LF
HANLEY	310 LF
CARONDELET PLAZA	125' LF
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	1,520 LF

September 13 Submittal

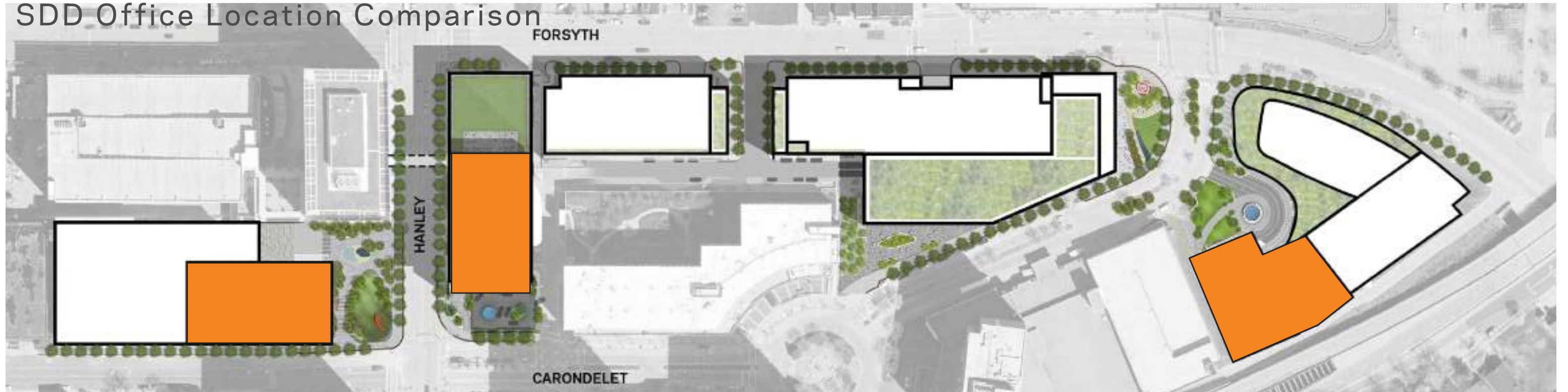


FORSYTH	720 LF
HANLEY	0 LF
CARONDELET PLAZA	0 LF
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	720 LF

November 21 Resubmittal



SDD Office Location Comparison

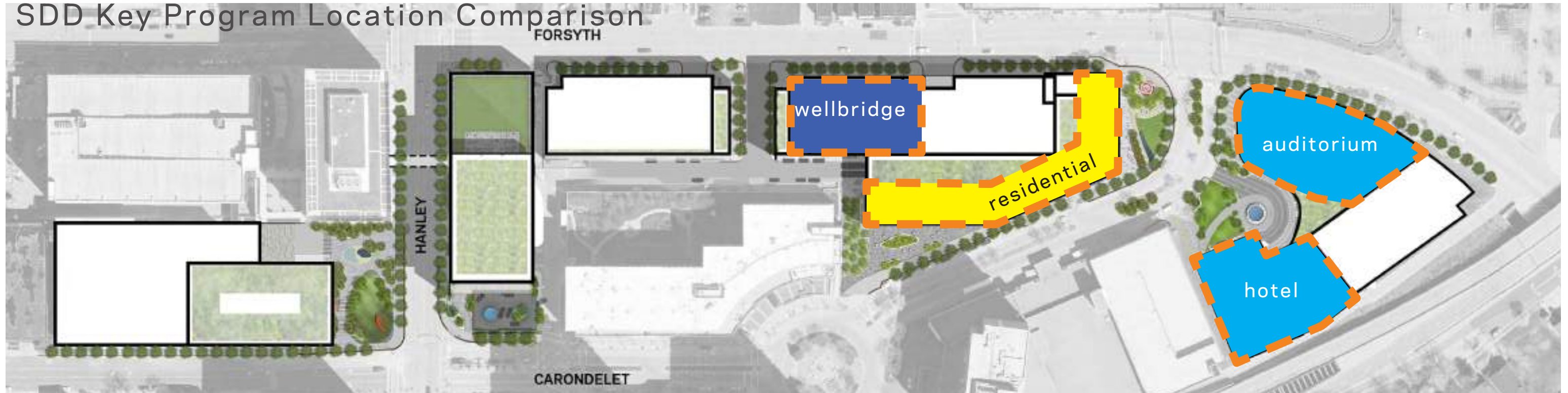


September 13 Submittal



November 21 Resubmittal

SDD Key Program Location Comparison



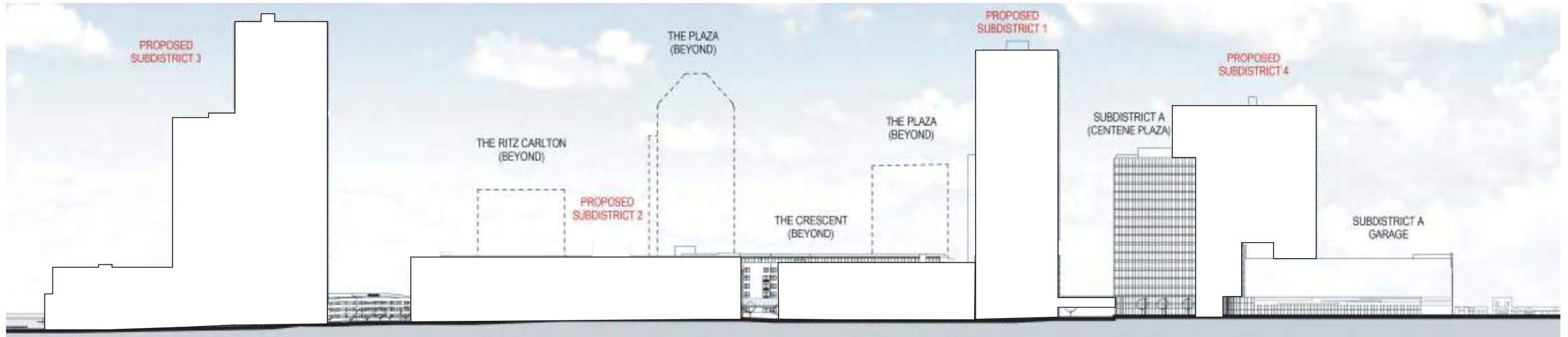
September 13 Submittal



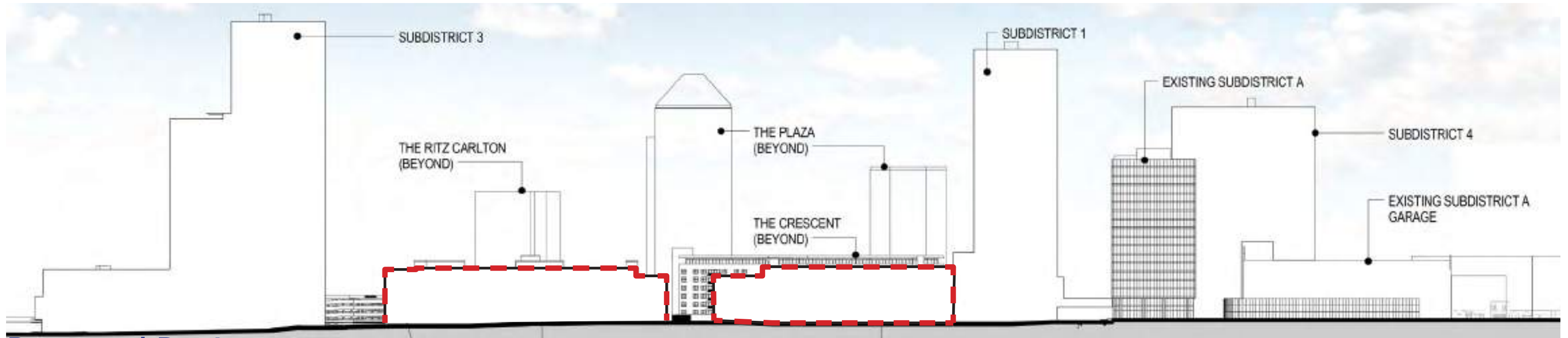
November 21 Resubmittal

Centene Campus Special Development District

Planning + design stipulations from ARB+BoA in September



Sept. 6th Design

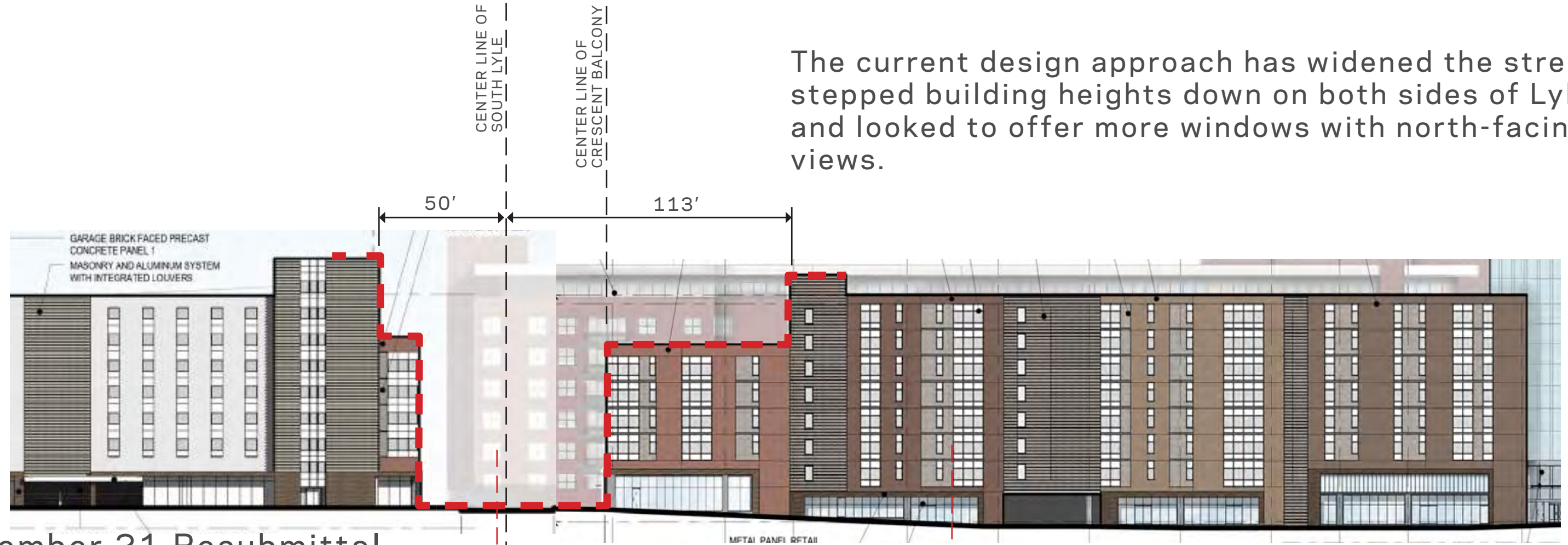


Proposed Design

2: Garage / retail buildings along Forsyth will have height not to exceed 89'-6" from mean grade along Forsyth, with two additional step-downs in height. Step-downs will be a 20' reduction in height for 30' east of Lyle Avenue and 60' west of Lyle Avenue.

Neighborhood design considerations: stepped massing along Lyle

The current design approach has widened the street, stepped building heights down on both sides of Lyle, and looked to offer more windows with north-facing views.



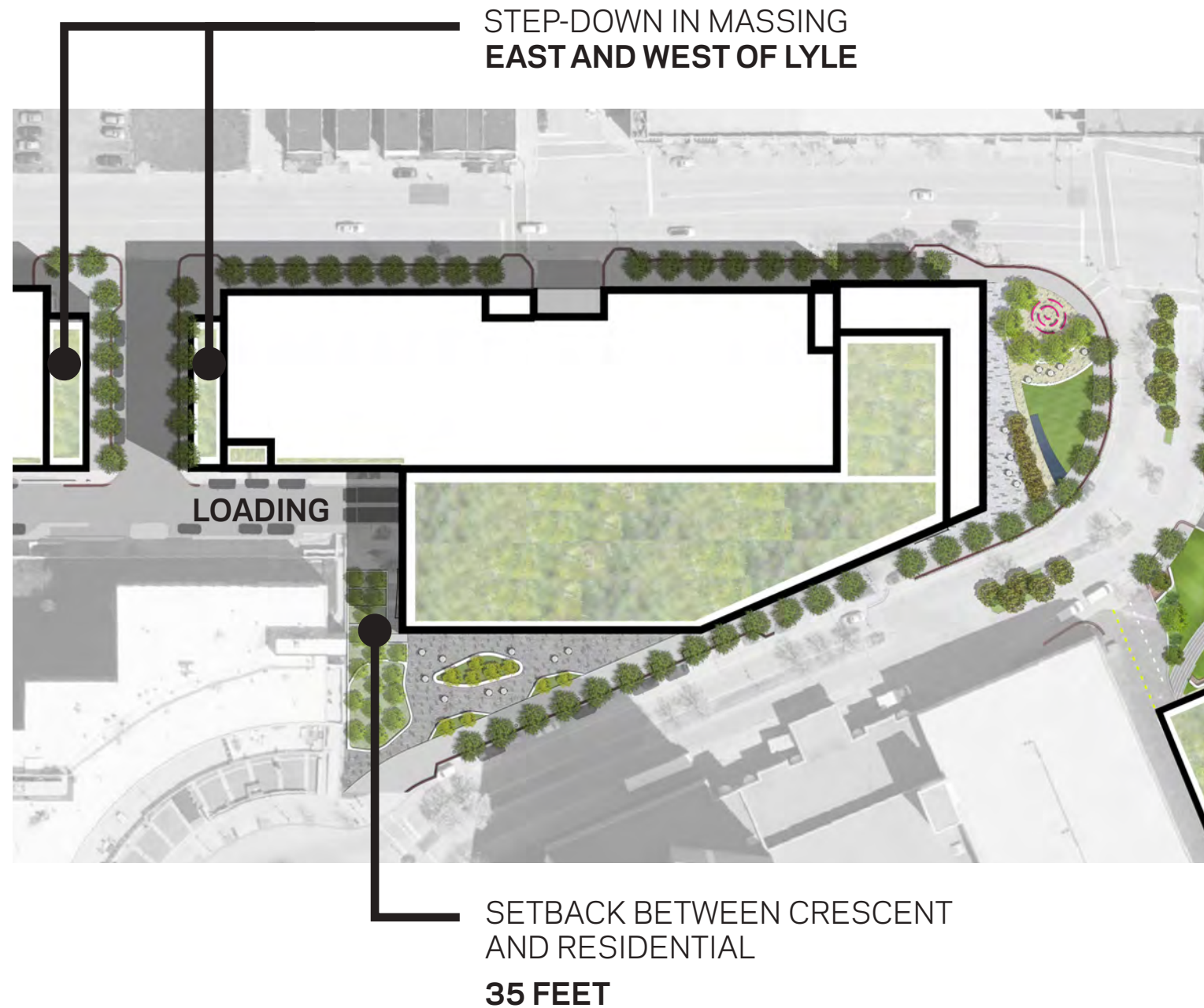
November 21 Resubmittal



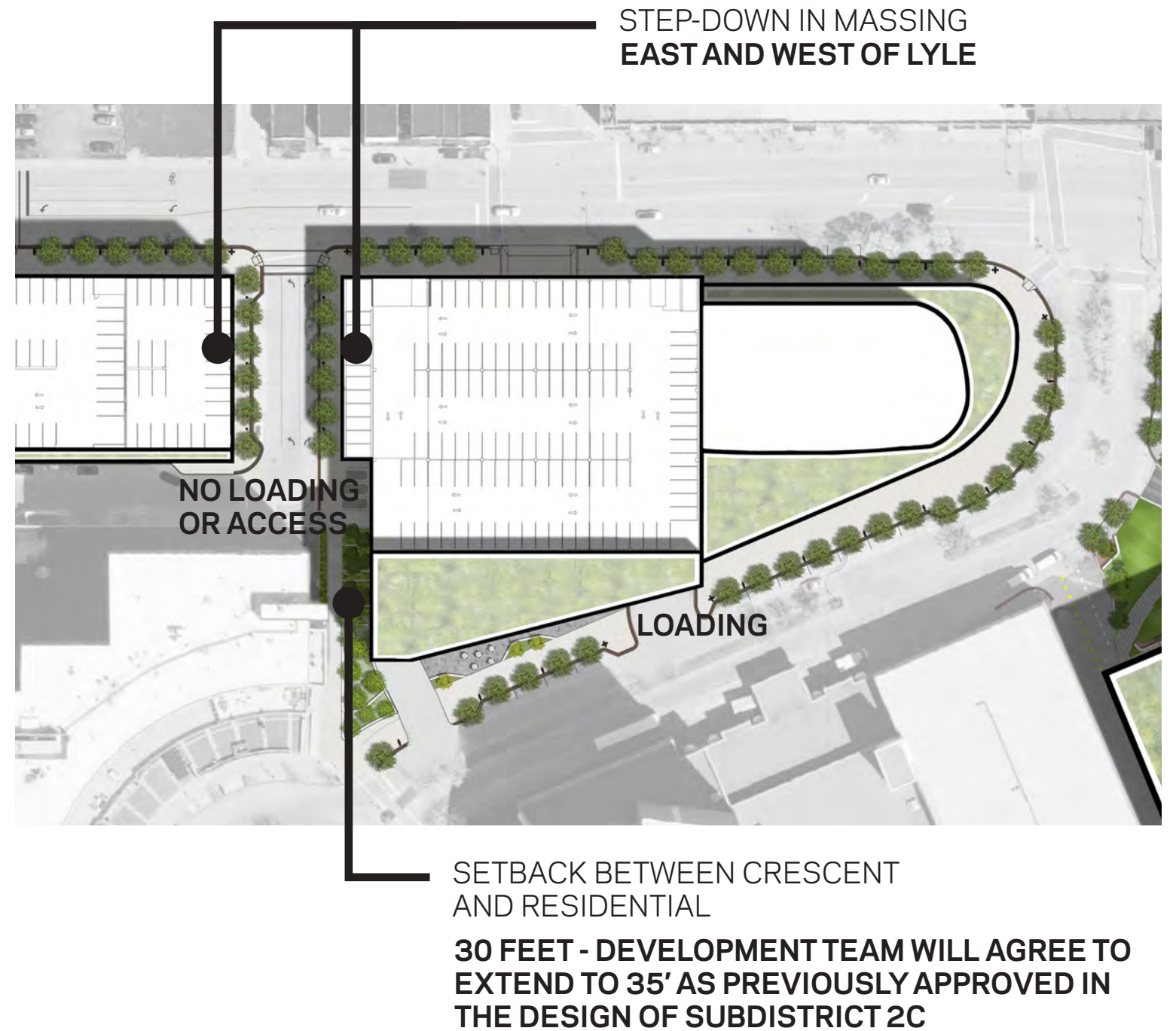
September 13 Submittal

Neighborhood design considerations: adjacency to east side of Crescent

September 13 2016



November 21 2016 resubmittal



Neighborhood design considerations: SD1 Loading Dock - fully enclosed



Neighborhood design considerations: SD2A+B+C Loading Dock - fully enclosed



Access will be developed in SD2B application

SDD Amendment Modifications





CENTENE CLAYTON CAMPUS,
Special Development District - Supplemental Detail

December 5th Planning Commission and ARB Meeting



Integration with the City of Clayton 2010 Master Plan: Centene continues to look to be a vital part of the development of Clayton and it's CBD.

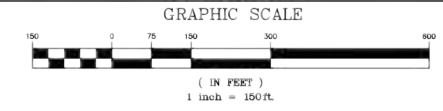


Centene's proposed development supports the long-term vision of a strong, east-west enhancement of Forsyth Boulevard

SDD Vicinity and Zoning Plan

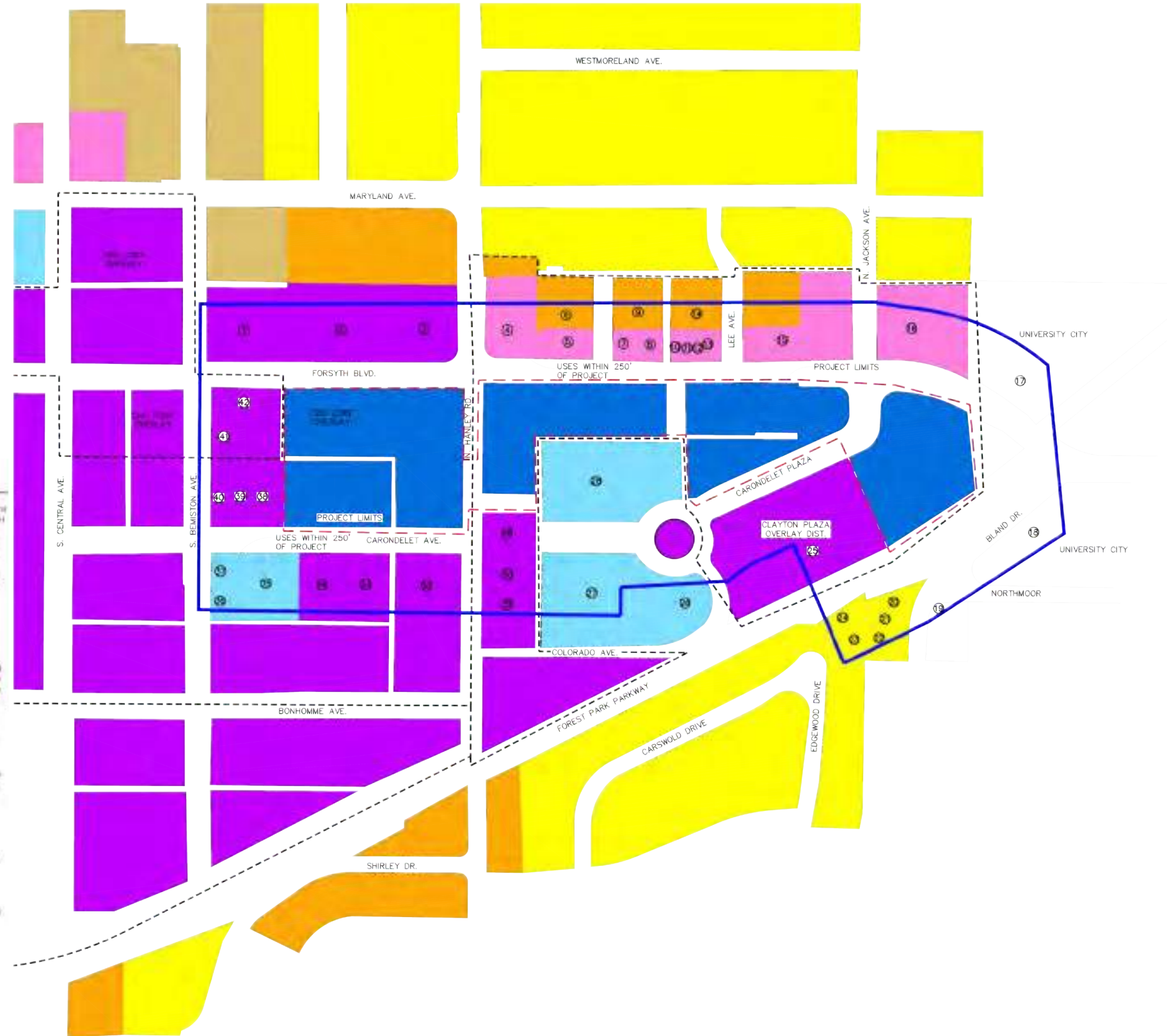
ZONING LEGEND

- R-2 SINGLE FAMILY RESIDENTIAL
- R-3 ONE & TWO FAMILY RESIDENTIAL
- R-4 LOW DENSITY MULTIPLE FAMILY
- C-2 GENERAL COMMERCIAL
- HDC HIGH DENSITY COMMERCIAL
- PUD PLANNED UNIT DEVELOPMENT
- SDD SPECIAL DEVELOPMENT DISTRICT
- DOWNTOWN OVERLAY DISTRICTS
- USES WITHIN 250' OF PROJECT
- PROPOSED SDD ZONING



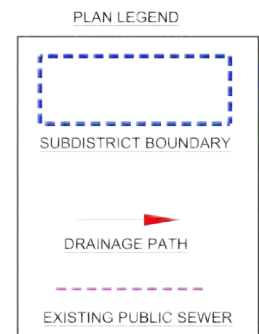
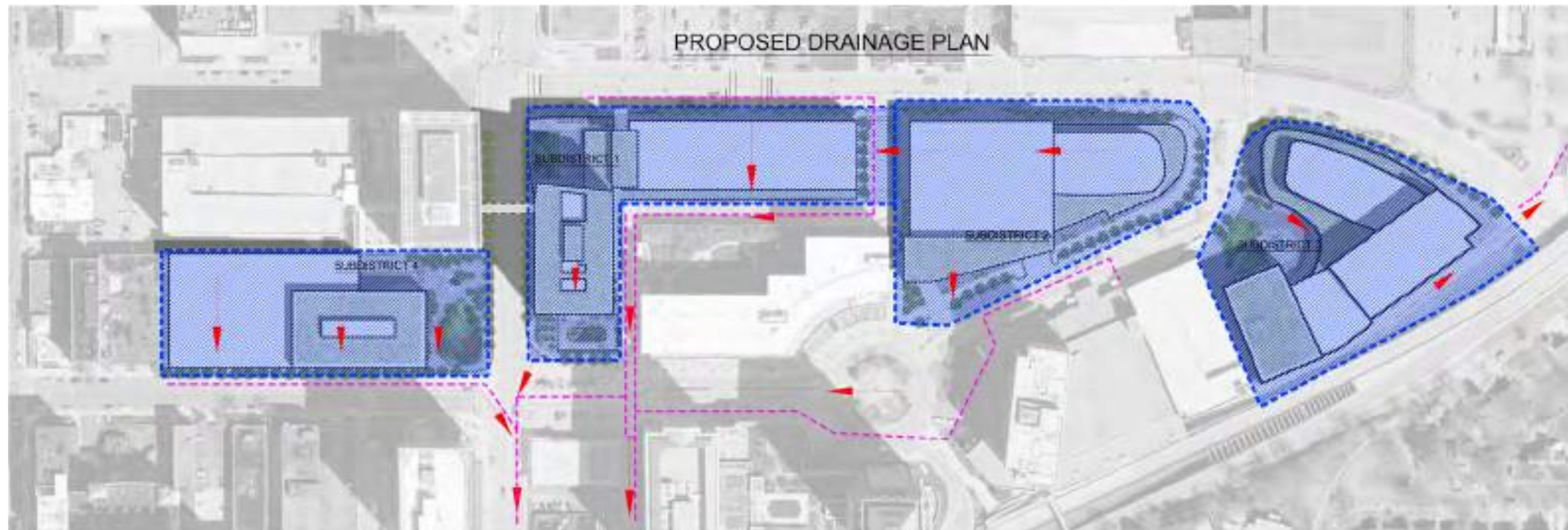
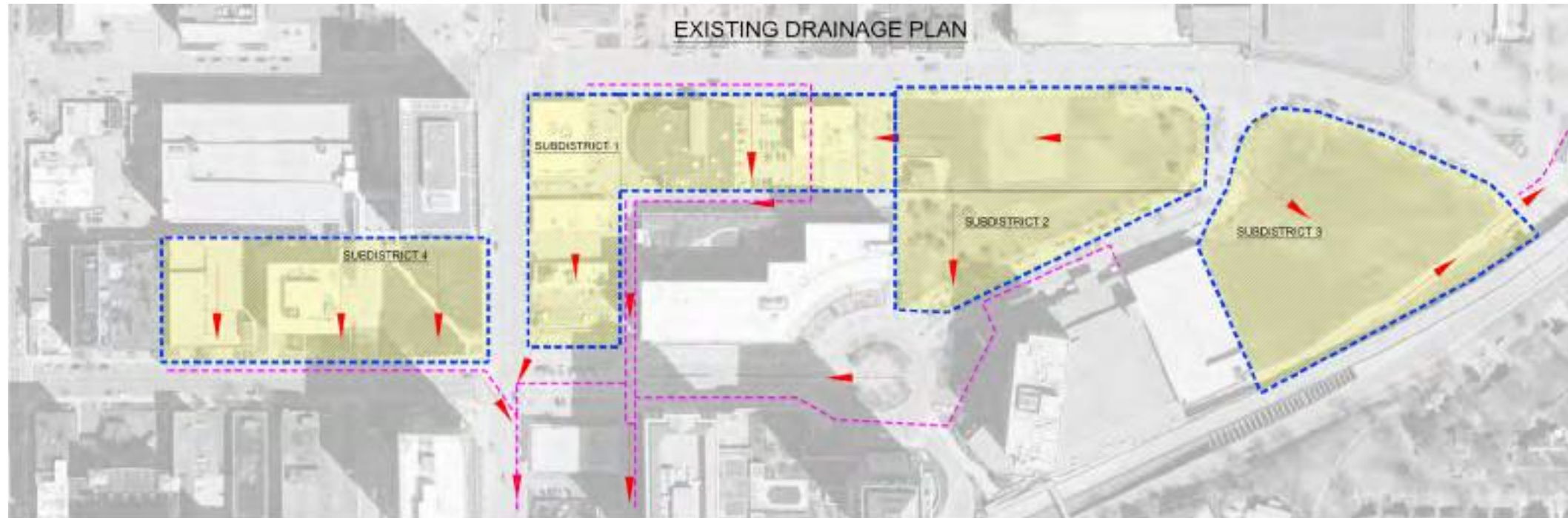
Adjacent Parcel Information

#	Address	Owner	Use
1	30 N. DeWitt Ave.	City of Clayton	Government
2	7721 Forsyth Blvd.	Frank Lachar Office Investors, LLC	Office - Frank Lachar Center of
3	7723 Forsyth Blvd.	Frank Lachar Office Investors, LLC	Office - Frank Lachar Center of
4	3216 Berkeley Road	10-Bank N.A. Leases	Commercial
5	1 N. Lyle Avenue	Carson John Thorne	Commercial (parking lot)
6	12 N. Lyle Avenue	Carson John Thorne	Commercial (parking lot)
7	1605 Forsyth Blvd.	Carson John Thorne	Commercial (parking lot)
8	1607 Forsyth Blvd.	1605Forsyth LLC	Commercial (parking lot)
9	18 N. Lyle Avenue	Carson John Thorne	Commercial (parking lot)
10	1523 Forsyth Blvd.	7523Forsyth LLC	Commercial
11	1525 Forsyth Blvd.	7525Forsyth LLC	Commercial
12	1527 Forsyth Blvd.	7527Forsyth LLC	Commercial
13	1529 Forsyth Blvd.	7529Forsyth LLC	Commercial
14	15 Lyle Avenue	15-21 Avenue LLC	Commercial (parking lot)
15	1541 Forsyth Blvd.	Washington University	Commercial
16	1543 Forsyth Blvd.	Washington University	Commercial
17	1521 Forsyth Blvd.	Washington University	Commercial (University City)
18	1523 Forsyth Blvd.	James & Cory Squares	Residential (University City)
19	1525 Forsyth Blvd.	James & Cory Squares	Residential (University City)
20	2409 North Drive	Carlson & East Holdings	Residential (Clayton)
21	2411 North Drive	Carlson & East Holdings	Residential (Clayton)
22	2413 North Drive	Carlson & East Holdings	Residential (Clayton)
23	2415 North Drive	Carlson & East Holdings	Residential (Clayton)
24	2417 North Drive	Carlson & East Holdings	Residential (Clayton)
25	2419 North Drive	Carlson & East Holdings	Residential (Clayton)
26	2421 North Drive	Carlson & East Holdings	Residential (Clayton)
27	2423 North Drive	Carlson & East Holdings	Residential (Clayton)
28	2425 North Drive	Carlson & East Holdings	Residential (Clayton)
29	2427 North Drive	Carlson & East Holdings	Residential (Clayton)
30	2429 North Drive	Carlson & East Holdings	Residential (Clayton)
31	2431 North Drive	Carlson & East Holdings	Residential (Clayton)
32	2433 North Drive	Carlson & East Holdings	Residential (Clayton)
33	2435 North Drive	Carlson & East Holdings	Residential (Clayton)
34	2437 North Drive	Carlson & East Holdings	Residential (Clayton)
35	2439 North Drive	Carlson & East Holdings	Residential (Clayton)
36	2441 North Drive	Carlson & East Holdings	Residential (Clayton)
37	2443 North Drive	Carlson & East Holdings	Residential (Clayton)
38	2445 North Drive	Carlson & East Holdings	Residential (Clayton)
39	2447 North Drive	Carlson & East Holdings	Residential (Clayton)
40	2449 North Drive	Carlson & East Holdings	Residential (Clayton)
41	2451 North Drive	Carlson & East Holdings	Residential (Clayton)
42	2453 North Drive	Carlson & East Holdings	Residential (Clayton)



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SDD Conceptual Stormwater Drainage Plan



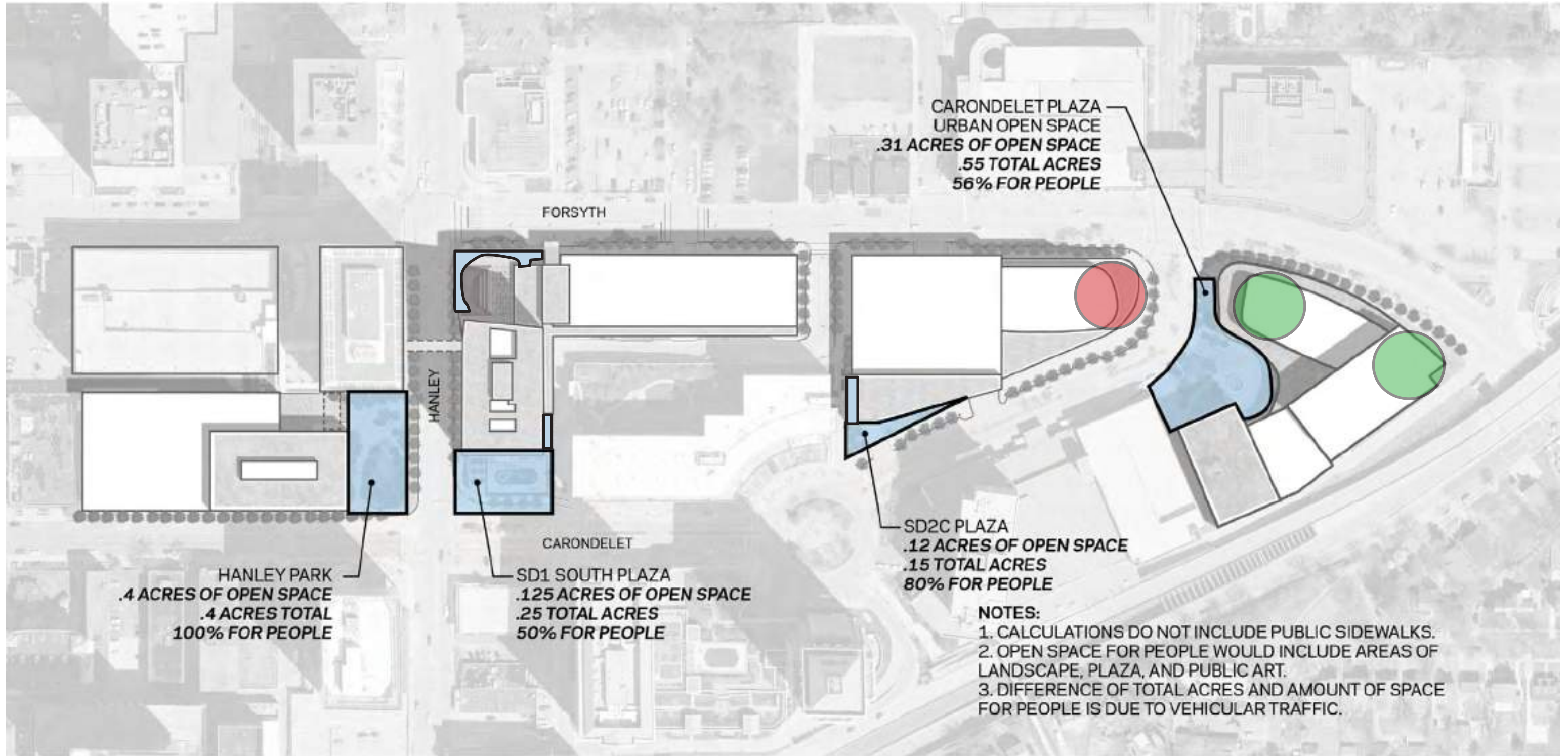
SD1 - DRAINING TO PUBLIC STORM SEWERS WITHIN HANLEY
 WATER QUALITY AND RUNOFF REDUCTION REQUIRED TO THE MAXIMUM EXTENT PRACTICABLE.
 NO DETENTION OR CHANNEL PROTECTION REQUIRED.
 POTENTIAL WATER QUALITY OPTIONS:
 - GREEN ROOF
 - BIO-RETENTION
 - CISTERNS
 - HYDRODYNAMIC SEPARATOR

SD2 - DRAINING TO PUBLIC STORM SEWERS WITHIN ALLEY & CARONDOLET
 WATER QUALITY AND RUNOFF REDUCTION REQUIRED TO THE MAXIMUM EXTENT PRACTICABLE.
 NO DETENTION OR CHANNEL PROTECTION REQUIRED.
 POTENTIAL WATER QUALITY OPTIONS:
 - GREEN ROOF
 - BIO-RETENTION
 - CISTERNS
 - HYDRODYNAMIC SEPARATOR

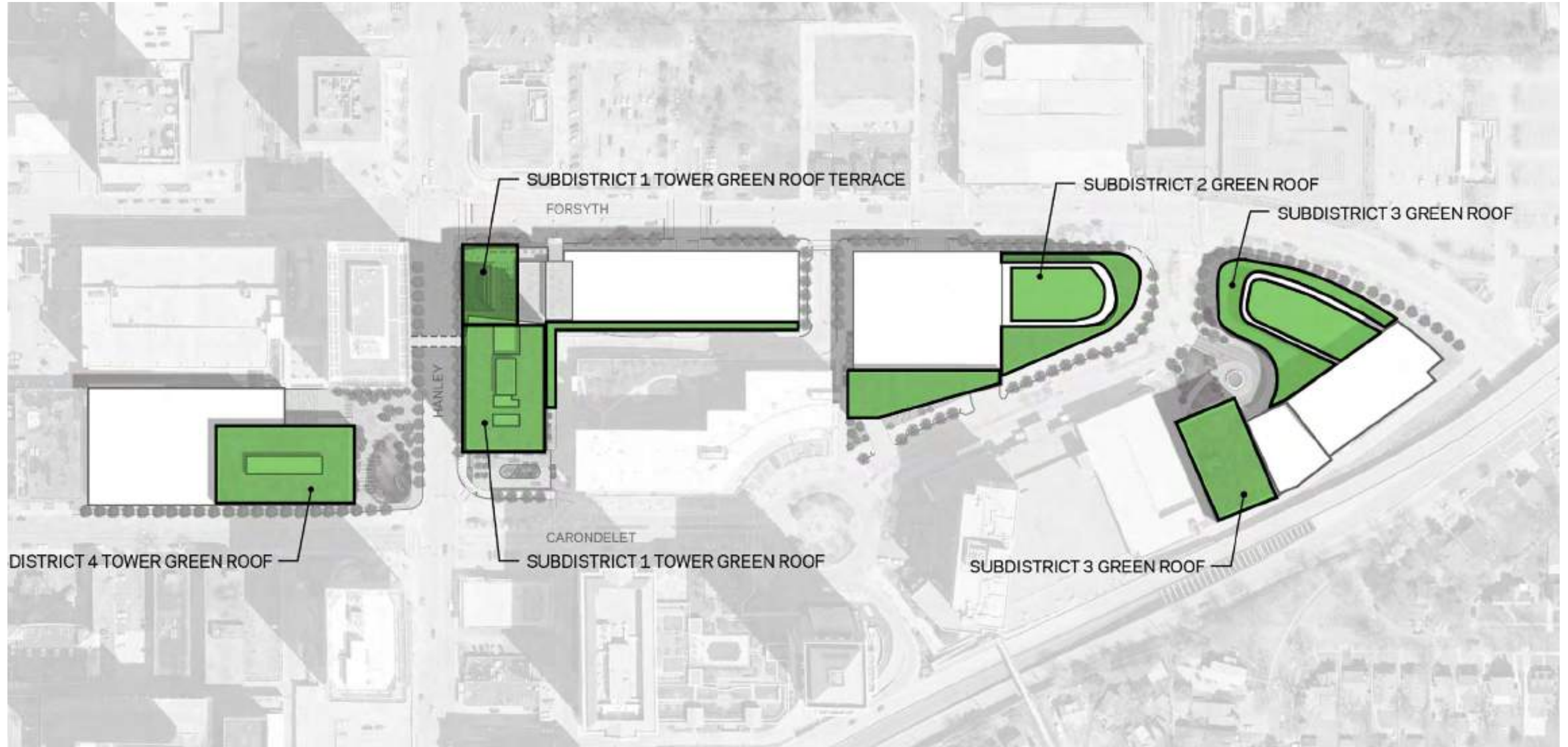
SD3 - DRAINING TO PUBLIC COMBINED SEWERS WITHIN FORSYTH
 DIFFERENTIAL = 4.66 c.f.s. [INCREASE]
 REDEVELOPMENT - DETENTION & CHANNEL PROTECTION.
 *NO WATER QUALITY REQUIRED FOR AREAS DRAINING TO COMBINED SEWERS
 PROVIDE BELOW GRADE VAULT TO ATTENUATE STORMWATER DETENTION AND CHANNEL PROTECTION REQUIREMENTS.

SD4 - DRAINING TO PUBLIC STORM SEWERS WITHIN CARONDELET
 WATER QUALITY AND RUNOFF REDUCTION REQUIRED TO THE MAXIMUM EXTENT PRACTICABLE.
 NO DETENTION OR CHANNEL PROTECTION REQUIRED.
 POTENTIAL WATER QUALITY OPTIONS:
 - GREEN ROOF
 - BIO-RETENTION
 - CISTERNS
 - HYDRODYNAMIC SEPARATOR

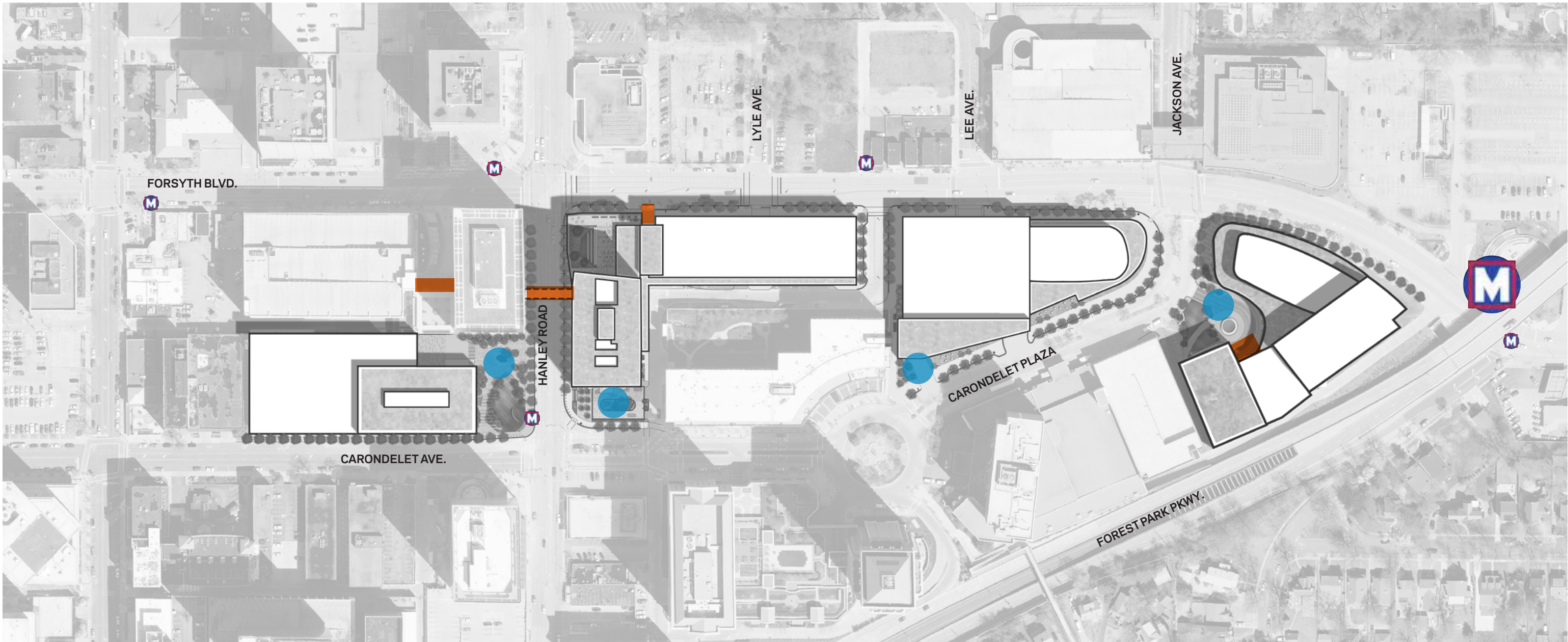
SDD Open Space Plan



SDD Green Roof Plan



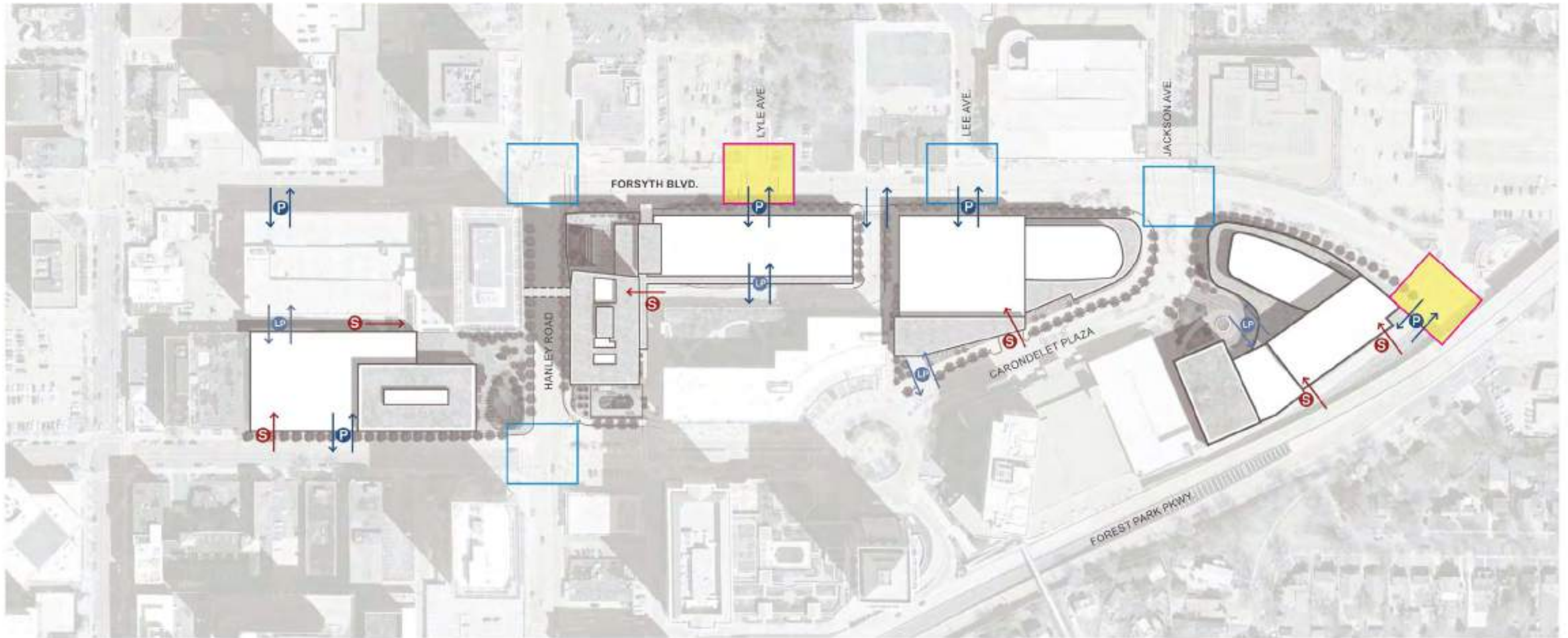
Public Art Opportunities - SDD



 PUBLIC ART INSTALLATION

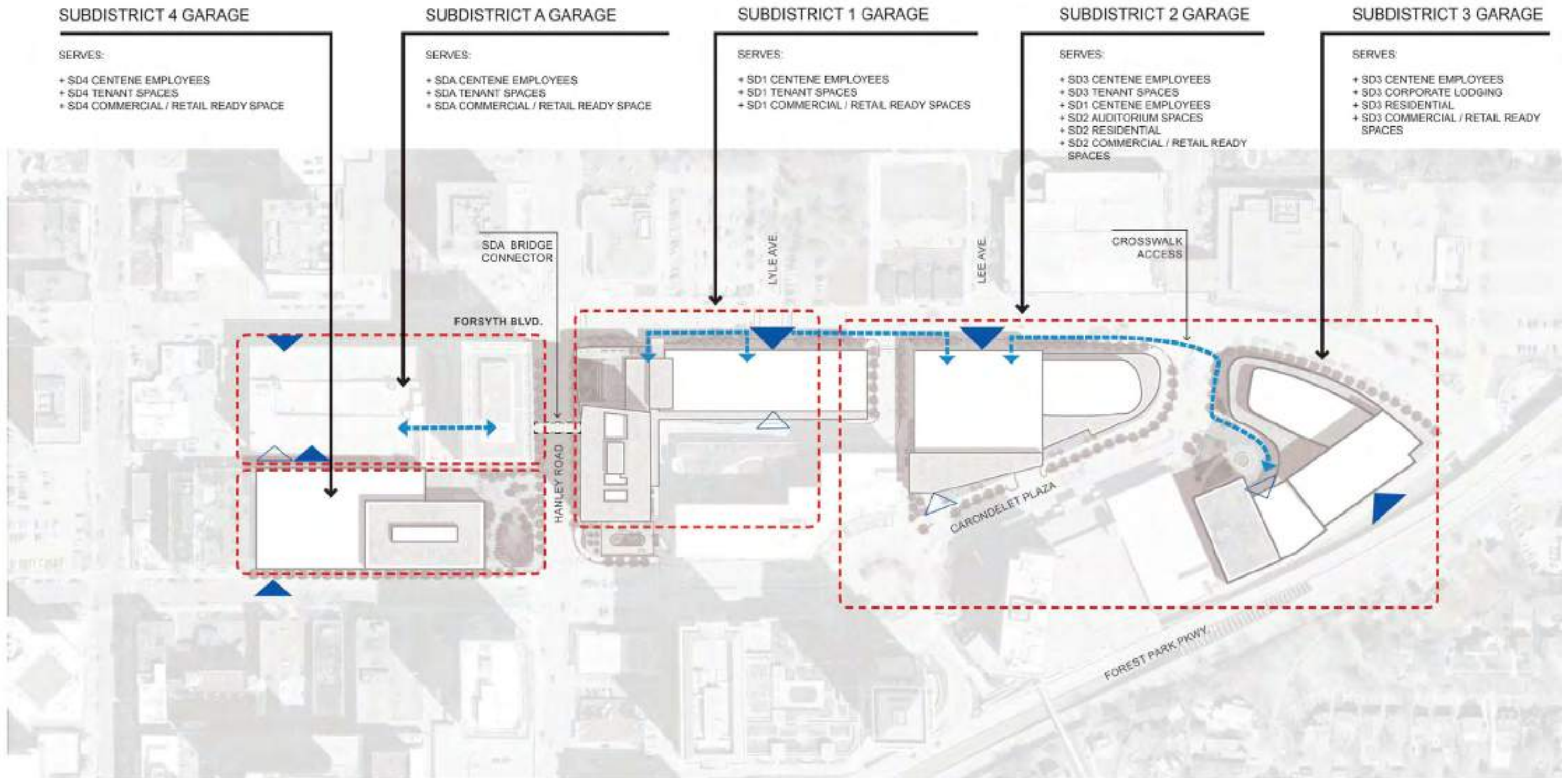
 CENTENE SITE ART

SDD Traffic Circulation Pattern



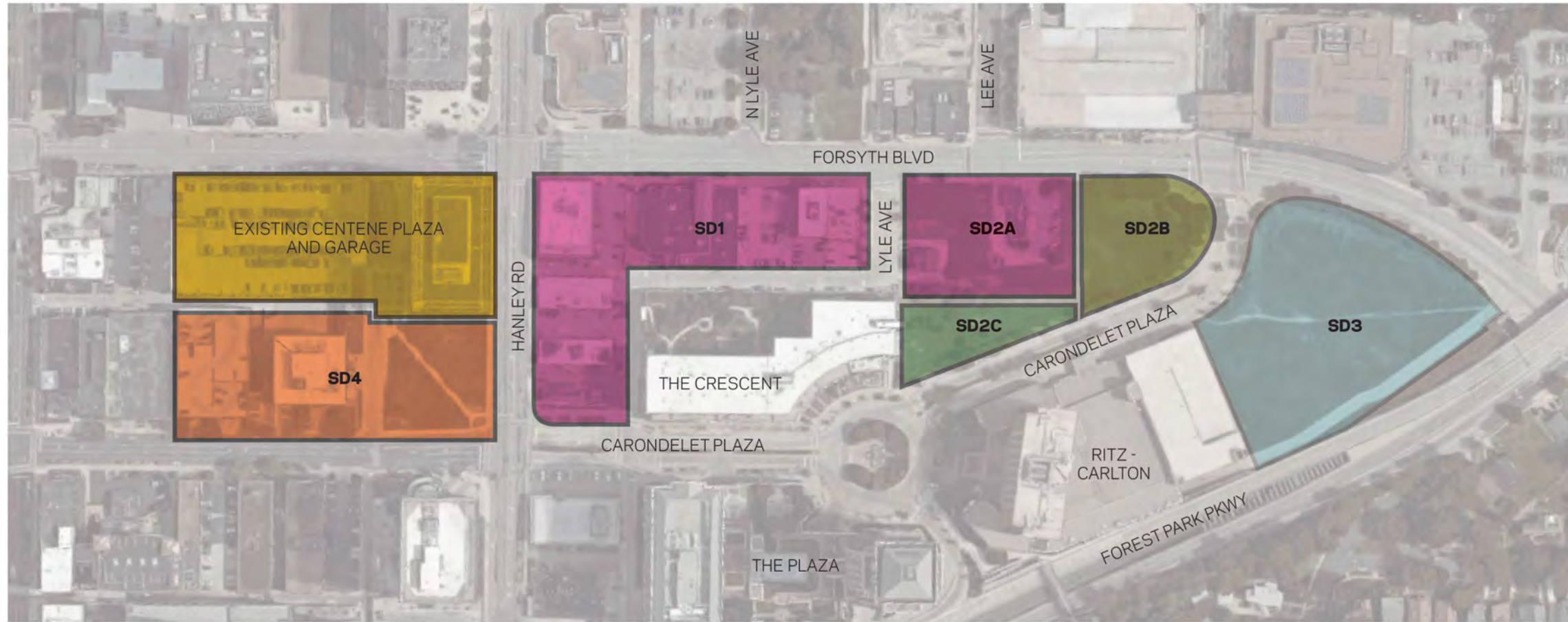
-  NEW TRAFFIC SIGNAL
-  EXISTING TRAFFIC SIGNAL
-  VEHICULAR ENTRY
-  SERVICE ENTRY
-  LIMITED PARKING ACCESS

SDD Campus Arrival and Parking Distribution

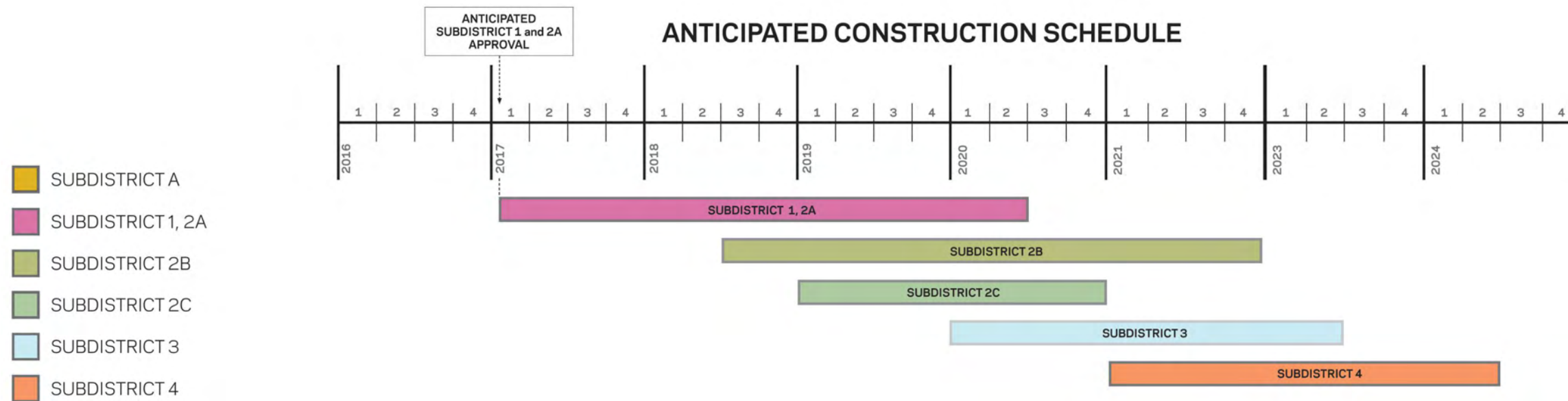


----- PEDESTRIAN ROUTE
 ▼ ENTRANCE TO ABOVE GRADE PARKING GARAGE
 ▲ ENTRANCE TO BELOW GRADE PARKING GARAGE

SDD Location Plan and Schedule



1 SUBDISTRICT LOCATION PLAN
SCALE 1" = 100"

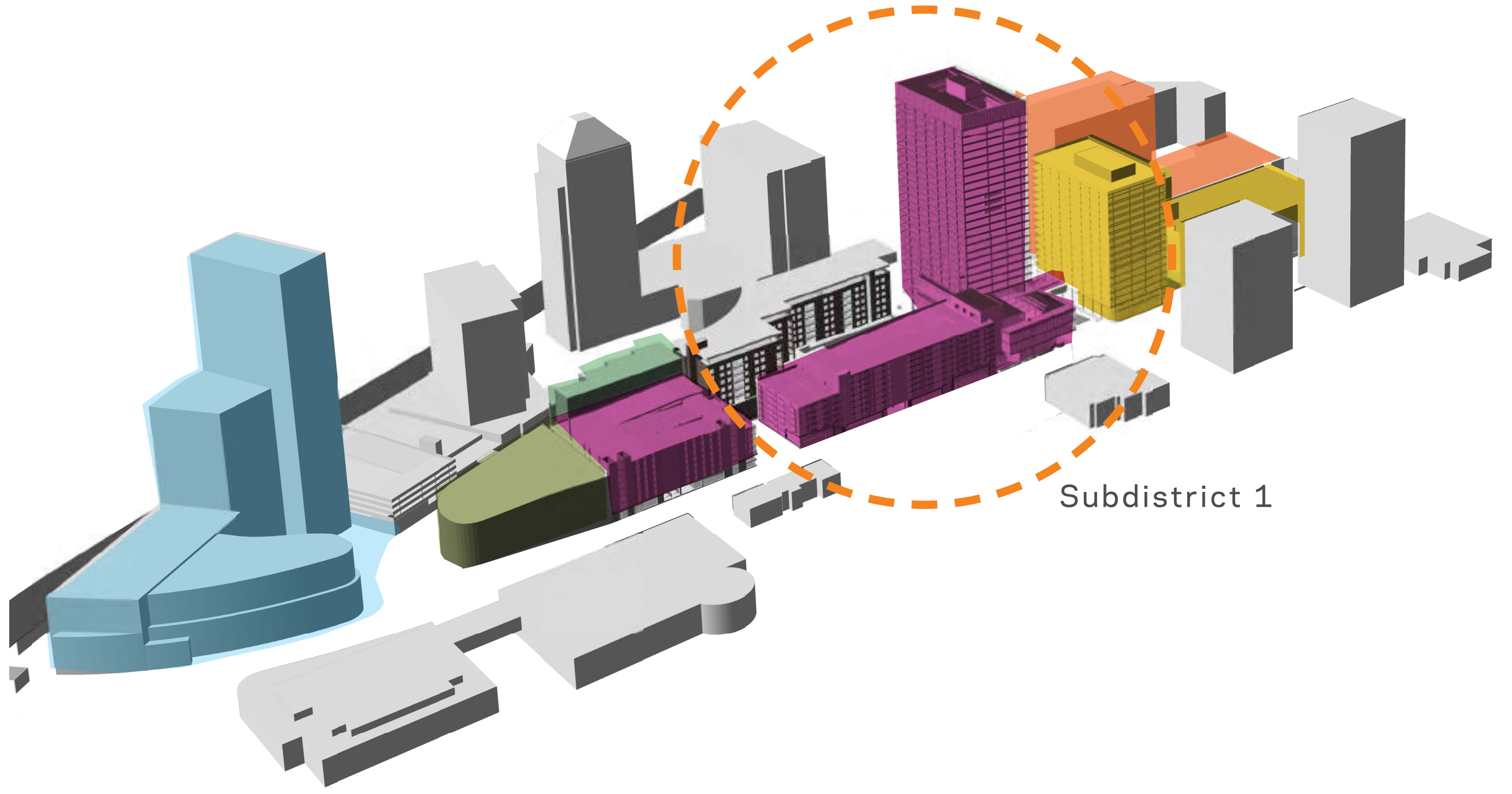


- SUBDISTRICT A
- SUBDISTRICT 1, 2A
- SUBDISTRICT 2B
- SUBDISTRICT 2C
- SUBDISTRICT 3
- SUBDISTRICT 4

DISCUSSION and Q + A

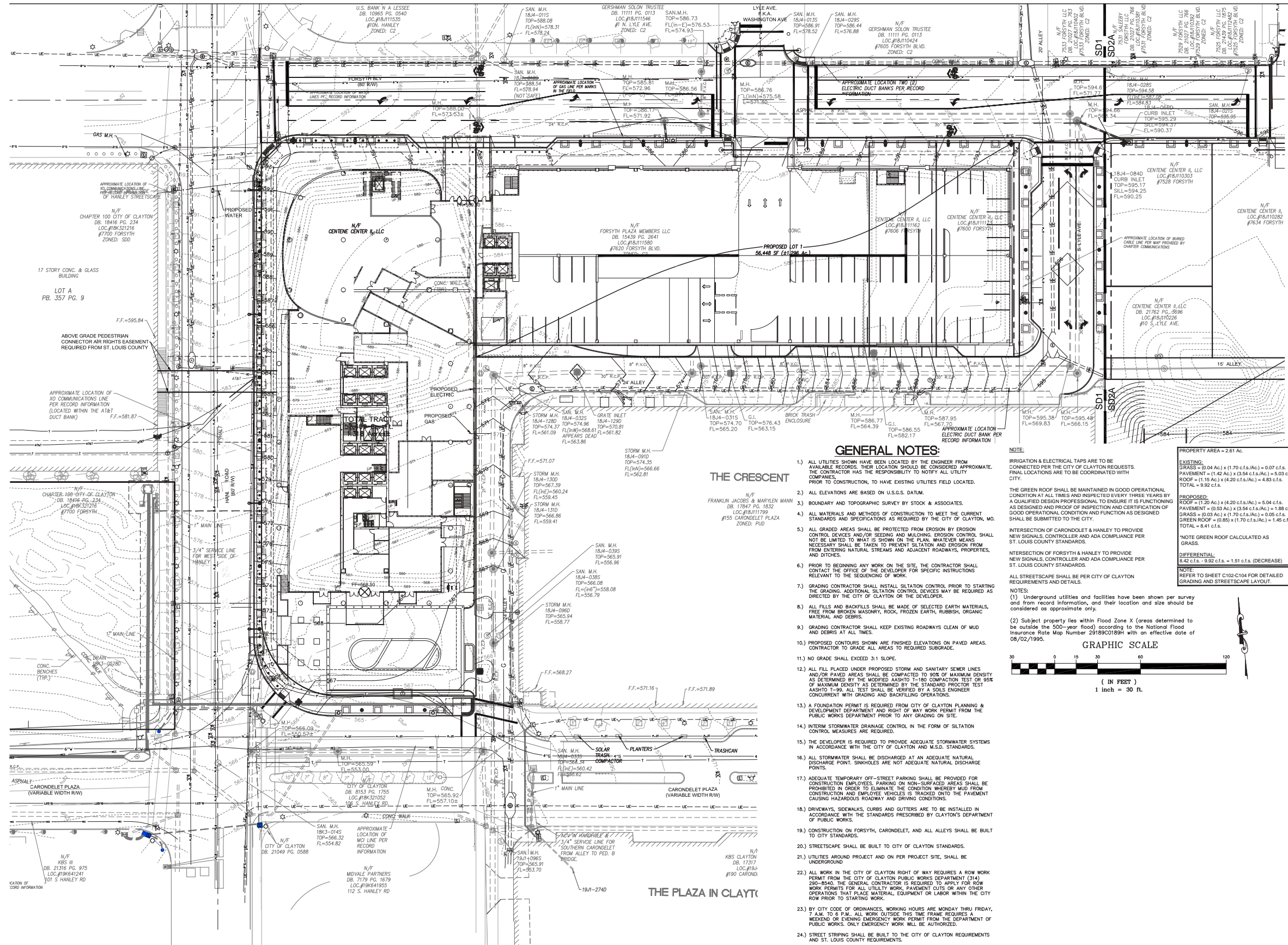


CENTENE CLAYTON CAMPUS, Special Development District



Subdistrict 1

SD1 Site Development



GENERAL NOTES:

1. ALL UTILITIES SHOWN HAVE BEEN LOCATED BY THE ENGINEER FROM AVAILABLE RECORDS. THEIR LOCATION SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR HAS THE RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION, TO HAVE EXISTING UTILITIES FIELD LOCATED.
2. ALL ELEVATIONS ARE BASED ON U.S.G.S. DATUM.
3. BOUNDARY AND TOPOGRAPHIC SURVEY BY STOCK & ASSOCIATES.
4. ALL MATERIALS AND METHODS OF CONSTRUCTION TO MEET THE CURRENT STANDARDS AND SPECIFICATIONS AS REQUIRED BY THE CITY OF CLAYTON, MO.
5. ALL GRADED AREAS SHALL BE PROTECTED FROM EROSION BY EROSION CONTROL DEVICES AND/OR SEEDING AND MULCHING. EROSION CONTROL SHALL NOT BE LIMITED TO WHAT IS SHOWN ON THE PLAN, WHATEVER MEANS NECESSARY SHALL BE TAKEN TO PREVENT SILTATION AND EROSION FROM ENTERING NATURAL STREAMS AND ADJACENT ROADWAYS, PROPERTIES, AND DITCHES.
6. PRIOR TO BEGINNING ANY WORK ON THE SITE, THE CONTRACTOR SHALL CONTACT THE OFFICE OF THE DEVELOPER FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
7. GRADING CONTRACTOR SHALL INSTALL SILTATION CONTROL PRIOR TO STARTING THE GRADING. ADDITIONAL SILTATION CONTROL DEVICES MAY BE REQUIRED AS DIRECTED BY THE CITY OF CLAYTON OR THE DEVELOPER.
8. ALL FILLS AND BACKFILLS SHALL BE MADE OF SELECTED EARTH MATERIALS, FREE FROM BROKEN MASONRY, ROCK, FROZEN EARTH, RUBBISH, ORGANIC MATERIAL AND DEBRIS.
9. GRADING CONTRACTOR SHALL KEEP EXISTING ROADWAYS CLEAN OF MUD AND DEBRIS AT ALL TIMES.
10. PROPOSED CONTOURS SHOWN ARE FINISHED ELEVATIONS ON PAVED AREAS. CONTRACTOR TO GRADE ALL AREAS TO REQUIRED SUBGRADE.
11. NO GRADE SHALL EXCEED 3:1 SLOPE.
12. ALL FILL PLACED UNDER PROPOSED STORM AND SANITARY SEWER LINES AND/OR PAVED AREAS SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED AASHTO T-99 COMPACTION TEST OR 95% OF MAXIMUM DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST AASHTO T-99. ALL TEST SHALL BE VERIFIED BY A SOILS ENGINEER CONCURRENT WITH GRADING AND BACKFILLING OPERATIONS.
13. A FOUNDATION PERMIT IS REQUIRED FROM CITY OF CLAYTON PLANNING & DEVELOPMENT DEPARTMENT AND RIGHT OF WAY WORK PERMIT FROM THE PUBLIC WORKS DEPARTMENT PRIOR TO ANY GRADING ON SITE.
14. INTERIM STORMWATER DRAINAGE CONTROL IN THE FORM OF SILTATION CONTROL MEASURES ARE REQUIRED.
15. THE DEVELOPER IS REQUIRED TO PROVIDE ADEQUATE STORMWATER SYSTEMS IN ACCORDANCE WITH THE CITY OF CLAYTON AND M.S.D. STANDARDS.
16. ALL STORMWATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE NATURAL DISCHARGE POINTS.
17. ADEQUATE TEMPORARY OFF-STREET PARKING SHALL BE PROVIDED FOR CONSTRUCTION EMPLOYEES. PARKING ON NON-SURFACED AREAS SHALL BE PROHIBITED IN ORDER TO ELIMINATE THE CONDITION WHEREBY MUD FROM CONSTRUCTION AND EMPLOYEE VEHICLES IS TRACKED ONTO THE PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVING CONDITIONS.
18. DRIVEWAYS, SIDEWALKS, CURBS AND GUTTERS ARE TO BE INSTALLED IN ACCORDANCE WITH THE STANDARDS PRESCRIBED BY CLAYTON'S DEPARTMENT OF PUBLIC WORKS.
19. CONSTRUCTION ON FORSYTH, CARONDELET, AND ALL ALLEYS SHALL BE BUILT TO CITY STANDARDS.
20. STREETScape SHALL BE BUILT TO CITY OF CLAYTON STANDARDS.
21. UTILITIES AROUND PROJECT AND ON PER PROJECT SITE, SHALL BE UNDERGROUND.
22. ALL WORK IN THE CITY OF CLAYTON RIGHT OF WAY REQUIRES A ROW WORK PERMIT FROM THE CITY OF CLAYTON PUBLIC WORKS DEPARTMENT (314) 290-8540. THE GENERAL CONTRACTOR IS REQUIRED TO APPLY FOR ROW WORK PERMITS FOR ALL UTILITY WORK, PAVEMENT CUTS OR ANY OTHER OPERATIONS THAT PLACE MATERIAL, EQUIPMENT OR LABOR WITHIN THE CITY ROW PRIOR TO STARTING WORK.
23. BY CITY CODE OF ORDINANCES, WORKING HOURS ARE MONDAY THRU FRIDAY, 7 A.M. TO 6 P.M. ALL WORK OUTSIDE THIS TIME FRAME REQUIRES A WEEKEND OR EVENING EMERGENCY WORK PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS. ONLY EMERGENCY WORK WILL BE AUTHORIZED.
24. STREET STRIPING SHALL BE BUILT TO THE CITY OF CLAYTON REQUIREMENTS AND ST. LOUIS COUNTY REQUIREMENTS.

NOTE:
IRRIGATION & ELECTRICAL TAPS ARE TO BE CONNECTED TO THE CITY OF CLAYTON REQUESTS. FINAL LOCATIONS ARE TO BE COORDINATED WITH CITY.

THE GREEN ROOF SHALL BE MAINTAINED IN GOOD OPERATIONAL CONDITION AT ALL TIMES AND INSPECTED EVERY THREE YEARS BY A QUALIFIED DESIGN PROFESSIONAL TO ENSURE IT IS FUNCTIONING AS DESIGNED AND PROOF OF INSPECTION AND CERTIFICATION OF GOOD OPERATIONAL CONDITION AND FUNCTION AS DESIGNED SHALL BE SUBMITTED TO THE CITY.

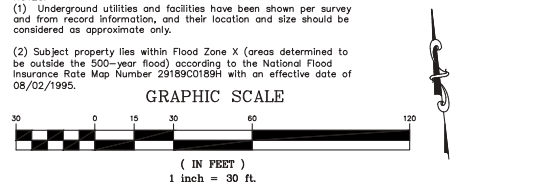
INTERSECTION OF CARONDELET & HANLEY TO PROVIDE NEW SIGNALS, CONTROLLER AND ADA COMPLIANCE PER ST. LOUIS COUNTY STANDARDS.

INTERSECTION OF FORSYTH & HANLEY TO PROVIDE NEW SIGNALS, CONTROLLER AND ADA COMPLIANCE PER ST. LOUIS COUNTY STANDARDS.

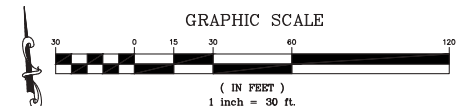
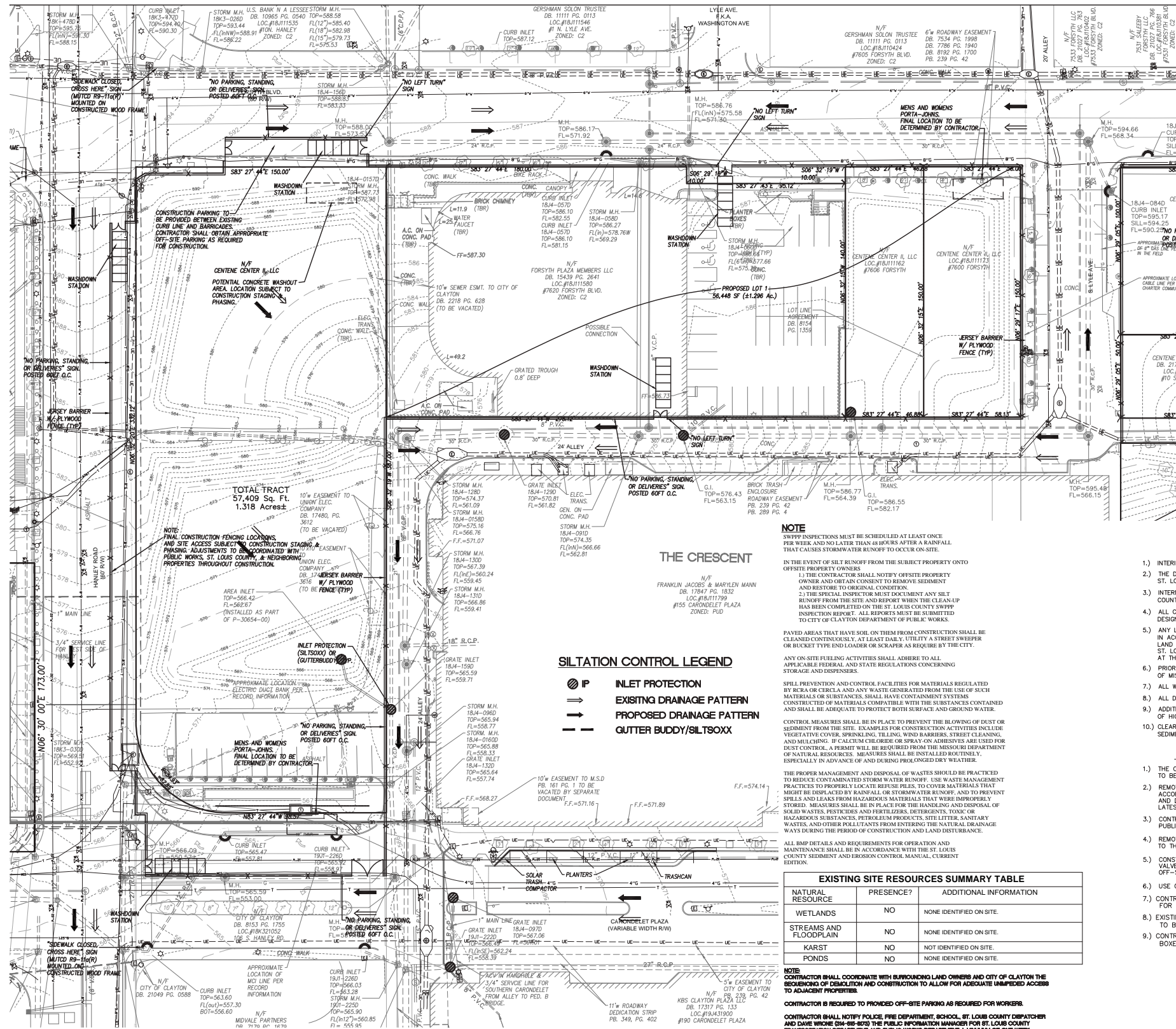
ALL STREETScape SHALL BE PER CITY OF CLAYTON REQUIREMENTS AND DETAILS.

NOTES:
(1) Underground utilities and facilities have been shown per survey and from record information, and their location and size should be considered as approximate only.

(2) Subject property lies within Flood Zone X (areas determined to be outside the 500-year flood) according to the National Flood Insurance Rate Map Number 29189C0189H with an effective date of 08/02/1995.



SD1 Storm Water Protection Plan



S.W.P.P. GENERAL NOTES

- INSPECTION OF SILTATION CONTROL DEVICES SHALL TAKE PLACE EVERY SEVEN DAYS AND WITHIN 24 HOURS OF ANY 0.5724 HOUR RAIN EVENT. ANY SILTATION CONTROL IN NEED OF REPAIR SHALL OCCUR IMMEDIATELY.
 - ANY DISTURBED AREAS WHICH WILL REMAIN UNWORKED FOR 5 DAYS SHALL BE STABILIZED WITH SEEDING AND MULCHING PER SPECIFICATIONS. AREAS THAT HAVE REACHED FINAL GRADES SHALL BE STABILIZED PER THE LANDSCAPE DRAWINGS. IF SEASONAL CONDITIONS PROHIBIT SEEDING, MULCHING OR MATTING SHALL BE USED. VEGETATION SHALL BECOME ESTABLISHED WITHIN TWO WEEKS.
 - ALL SLOPES OR DRAINAGE CHANNELS, ONCE CONSTRUCTED TO FINAL GRADE, SHALL BE STABILIZED WITHIN SEVEN DAYS.
 - SILTATION CONTROL SHALL BE INSTALLED IMMEDIATELY AROUND EACH STORM SEWER STRUCTURE ONCE FINAL CONSTRUCTION OF EACH INDIVIDUAL STRUCTURE IS COMPLETED.
- SILTATION CONTROL SCHEDULE IMPLEMENTATION**
- PERMETER SILTATION CONTROL, CONSTRUCTION ENTRANCES AND SILTATION CONTROL AROUND EXISTING STORM SEWER STRUCTURE TO BE INSTALLED.
 - BEGIN EXCAVATION FOR BUILDING CONSTRUCTION.
 - PLACE SILTATION CONTROL AROUND EACH STORM SEWER STRUCTURE AS IT IS COMPLETED.
 - IMMEDIATELY STABILIZE AREAS UPON REACHING FINAL GRADE.
 - ANY SOIL STOCK PILES SHALL BE STABILIZED OR COVERED AT THE END OF EACH WORK DAY.
- TEMPORARY ROADS AND PARKING AREA SPECIFICATIONS**
- EXISTING PAVEMENT SHALL BE UTILIZED FOR CONSTRUCTION TRAFFIC, PARKING, AND STAGING.
- VEGETATION**
- ALL DISTURBED AREAS SHALL BE STABILIZED WITH APPROPRIATE TEMPORARY SEEDING/MULCHING, OR SO2 ACCORDING TO THE CURRENT ST. LOUIS COUNTY S & EC MANUAL. VEGETATION SHALL BECOME ESTABLISHED IN TWO WEEKS.
- MAINTENANCE**
- ANY SEEDED OR SOODED AREAS ADJACENT TO CONSTRUCTION WORK SHOULD BE CHECKED PERIODICALLY TO ENSURE THAT A VIGOROUS STAND OF VEGETATION IS MAINTAINED. SWALES AND DRAINAGE STRUCTURES SHALL BE CHECKED REGULARLY TO ENSURE THEY DO NOT BECOME CLOGGED WITH SILT OR OTHER DEBRIS THROUGHOUT THE DURATION OF CONSTRUCTION.

OWNER
CENTENE CENTER II, LLC
7700 FORSYTH BLVD.
ST. LOUIS, MO 63105
PHONE: 314-505-6000
CONTACT: ROBERT HARDY

CONTRACTOR
2199 INNERBELT BUSINESS CENTER DRIVE
ST. LOUIS, MO 63114
PHONE: 314-592-2249
CONTACT: MIKE ZETLMEISL

TOTAL AREA DISTURBED:
876 Ac±

EXISTING SITE RUNOFF COEFFICIENT: 0.85
PROPOSED SITE RUNOFF COEFFICIENT: 0.85
HYDROLOGIC SOIL GROUP: D
NO RATING AVAILABLE FROM
NFCBS WEBSOIL SURVEY.
MDNR PERMIT NO. MORA07441

ST. LOUIS COUNTY NOTES

- INTERM STORMWATER DRAINAGE CONTROL IN THE FORM OF SILTATION CONTROL MEASURES ARE REQUIRED.
- THE DEVELOPER IS REQUIRED TO PROVIDE ADEQUATE STORMWATER SYSTEMS IN ACCORDANCE WITH ST. LOUIS COUNTY AND MSD STANDARDS.
- INTERNAL (PRIVATE) STORM SEWERS WILL REQUIRE A SEPARATE DRAINLAYER PERMIT FROM ST. LOUIS COUNTY DEPARTMENT OF PUBLIC WORKS.
- ALL CONSTRUCTION SHALL BE PER MOST CURRENT DETAILS LOCATED IN THE ST. LOUIS COUNTY DESIGN CRITERIA MANUAL AND/OR THE SEDIMENT AND EROSION CONTROL MANUAL.
- ANY LAND CLEARING, CONSTRUCTION, OR DEVELOPMENT INVOLVING THE MOVEMENT OF EARTH SHALL BE IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN, AND THE PERSON ISSUED A LAND DISTURBANCE PERMIT ASSUMES AND ACKNOWLEDGES RESPONSIBILITY FOR COMPLIANCE WITH THE ST. LOUIS COUNTY LAND DISTURBANCE CODE AND THE APPROVED STORMWATER POLLUTION PREVENTION PLAN AT THE SITE OF THE PERMITTED ACTIVITY.
- PRIOR TO ANY MAJOR LAND DISTURBANCE ACTIVITY, A LAND DISTURBANCE PERMIT FROM THE STATE OF MISSOURI DEPARTMENT OF NATURAL RESOURCES WILL BE REQUIRED.
- ALL WORK WITHIN ST. LOUIS COUNTY RIGHT OF WAY SHALL BE TO COUNTY STANDARDS.
- ALL DISTURBED EARTH AREAS WITHIN ST. LOUIS COUNTY RIGHT-OF-WAY SHALL BE SOODED.
- ADDITIONAL SILTATION CONTROL SHALL BE INSTALLED AS REQUIRED BY THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC.
- CLEARING, EXCEPT THAT NECESSARY TO ESTABLISH SEDIMENT CONTROL DEVICES, SHALL NOT BEGIN UNTIL ALL SEDIMENT CONTROL DEVICES HAVE BEEN INSTALLED AND HAVE BEEN STABILIZED.

DEMOLITION NOTES

- THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING ANY WORK THAT WILL AFFECT AN EXISTING UTILITY.
- REMOVAL AND/OR ABANDONMENT OF EXISTING SEWERS SHALL BE IN ACCORDANCE WITH THE STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWER AND DRAINAGE FACILITIES OF THE METROPOLITAN ST. LOUIS SEWER DISTRICT, LATEST EDITION.
- CONTRACTOR SHALL OBTAIN HAUL ROUTE APPROVAL FROM THE CITY OF CLAYTON PUBLIC WORKS DEPARTMENT PRIOR TO COMMENCEMENT OF HAULING OPERATIONS.
- REMOVAL OF PAVEMENT, CURB & GUTTER, SIDEWALKS, ETC. SHALL BE TO THE NEAREST EXISTING JOINT OR FULL DEPTH SAWCUT AT LIMITS OF REMOVAL.
- CONSTRUCTION DEBRIS AND LITTER, INCLUDING BUT NOT LIMITED TO, CONDUIT, DUCTS, FITTINGS, VALVES, PIPES AND OTHER DEBRIS TO BE REMOVED, SHALL BE DISPOSED OF OFF-SITE, AND IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- USE OF EXPLOSIVES OR BURNING IS NOT PERMITTED.
- CONTRACTOR TO PROVIDE ALL NECESSARY FENCING, BARRICADES, SIGNAGE, ETC. FOR PEDESTRIAN SAFETY DURING SITE DEMOLITION/CONSTRUCTION ACTIVITIES.
- EXISTING PROPERTY CORNERS AND/OR SURVEY MONUMENTS DISTURBED BY CONSTRUCTION TO BE REMOVED AND REPLACED BY LICENSED SURVEYOR IN MISSOURI.
- CONTRACTOR TO REMOVE AND REPLACE EXISTING ELECTRICAL CONDUIT, WIRING, JUNCTION BOXES AND APPURTENANCES AS NEEDED FOR FIELD CONSTRUCTION.

NOTE

SWPPP INSPECTIONS MUST BE SCHEDULED AT LEAST ONCE PER WEEK AND NO LATER THAN 48 HOURS AFTER A RAINFALL THAT CAUSES STORMWATER RUNOFF TO OCCUR ON-SITE.

IN THE EVENT OF SILT RUNOFF FROM THE SUBJECT PROPERTY ONTO OFFSITE PROPERTY OWNERS

- THE CONTRACTOR SHALL NOTIFY OFFSITE PROPERTY OWNER AND OBTAIN CONSENT TO REMOVE SEDIMENT AND RESTORE TO ORIGINAL CONDITION.
- THE SPECIAL INSPECTOR MUST DOCUMENT ANY SILT RUNOFF FROM THE SITE AND REPORT WHEN THE CLEAN UP HAS BEEN COMPLETED ON THE ST. LOUIS COUNTY SWPPP INSPECTION REPORT. ALL REPORTS MUST BE SUBMITTED TO CITY OF CLAYTON DEPARTMENT OF PUBLIC WORKS.

PAVED AREAS THAT HAVE SOIL ON THEM FROM CONSTRUCTION SHALL BE CLEANED CONTINUOUSLY, AT LEAST DAILY, BY UTILITY A STREET SWEEPER OR BUCKET TYPE END LOADER OR SCRAPER AS REQUIRED BY THE CITY.

ANY ON-SITE FUELING ACTIVITIES SHALL ADHERE TO ALL APPLICABLE FEDERAL AND STATE REGULATIONS CONCERNING STORAGE AND DISPENSERS.

SPILL PREVENTION AND CONTROL FACILITIES FOR MATERIALS REGULATED BY RCRA OR CERCLA AND ANY WASTE GENERATED FROM THE USE OF SUCH MATERIALS OR SUBSTANCES, SHALL HAVE CONTAINMENT SYSTEMS CONSTRUCTED OF MATERIALS COMPATIBLE WITH THE SUBSTANCES CONTAINED AND SHALL BE ADEQUATE TO PROTECT BOTH SURFACE AND GROUND WATER.

CONTROL MEASURES SHALL BE IN PLACE TO PREVENT THE BLOWING OF DUST OR SEDIMENT FROM THE SITE. EXAMPLES FOR CONSTRUCTION ACTIVITIES INCLUDE VEGETATIVE COVER, SPRINKLING, TIE-INS, WIND BARRIERS, STREET CLEANING AND MULCHING. IF CALCIUM CHLORIDE OR SPRAY-ON ADHESIVES ARE USED FOR DUST CONTROL, A PERMIT WILL BE REQUIRED FROM THE MISSOURI DEPARTMENT OF NATURAL RESOURCES. MEASURES SHALL BE INSTALLED ROUTINELY, ESPECIALLY IN ADVANCE OF AND DURING PROLONGED DRY WEATHER.

THE PROPER MANAGEMENT AND DISPOSAL OF WASTES SHOULD BE PRACTICED TO REDUCE CONTAMINATED STORM WATER RUNOFF. USE WASTE MANAGEMENT PRACTICES TO PROPERLY LOCATE REFUSE PILES, TO COVER MATERIALS THAT MIGHT BE DISPLACED BY RAINFALL OR STORMWATER RUNOFF, AND TO PREVENT SPILLS AND LEAKS FROM HAZARDOUS MATERIALS THAT WERE IMPROPERLY STORED. MEASURES SHALL BE IN PLACE FOR THE HANDLING AND DISPOSAL OF SOLID WASTES, PESTICIDES AND FERTILIZERS, DETERGENTS, TOXIC OR HAZARDOUS SUBSTANCES, PETROLEUM PRODUCTS, SITE LITTER, SANITARY WASTES, AND OTHER POLLUTANTS FROM ENTERING THE NATURAL DRAINAGE WAYS DURING THE PERIOD OF CONSTRUCTION AND LAND DISTURBANCE.

ALL BMP DETAILS AND REQUIREMENTS FOR OPERATION AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE ST. LOUIS COUNTY SEDIMENT AND EROSION CONTROL MANUAL, CURRENT EDITION.

SILTATION CONTROL LEGEND

- IP INLET PROTECTION
- EXISTING DRAINAGE PATTERN
- PROPOSED DRAINAGE PATTERN
- GUTTER BUDDY/SILTSOXX

EXISTING SITE RESOURCES SUMMARY TABLE

NATURAL RESOURCE	PRESENCE?	ADDITIONAL INFORMATION
WETLANDS	NO	NONE IDENTIFIED ON SITE.
STREAMS AND FLOODPLAIN	NO	NONE IDENTIFIED ON SITE.
KARST	NO	NOT IDENTIFIED ON SITE.
PONDS	NO	NONE IDENTIFIED ON SITE.

NOTE: CONTRACTOR SHALL COORDINATE WITH SURROUNDING LAND OWNERS AND CITY OF CLAYTON THE SEQUENCES OF DEMOLITION AND CONSTRUCTION TO ALLOW FOR ADEQUATE UNIMPEDED ACCESS TO ADJACENT PROPERTIES.

CONTRACTOR IS REQUIRED TO PROVIDE OFF-SITE PARKING AS REQUIRED FOR WORKERS.

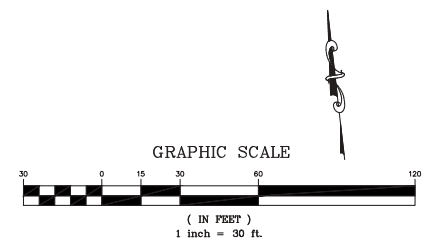
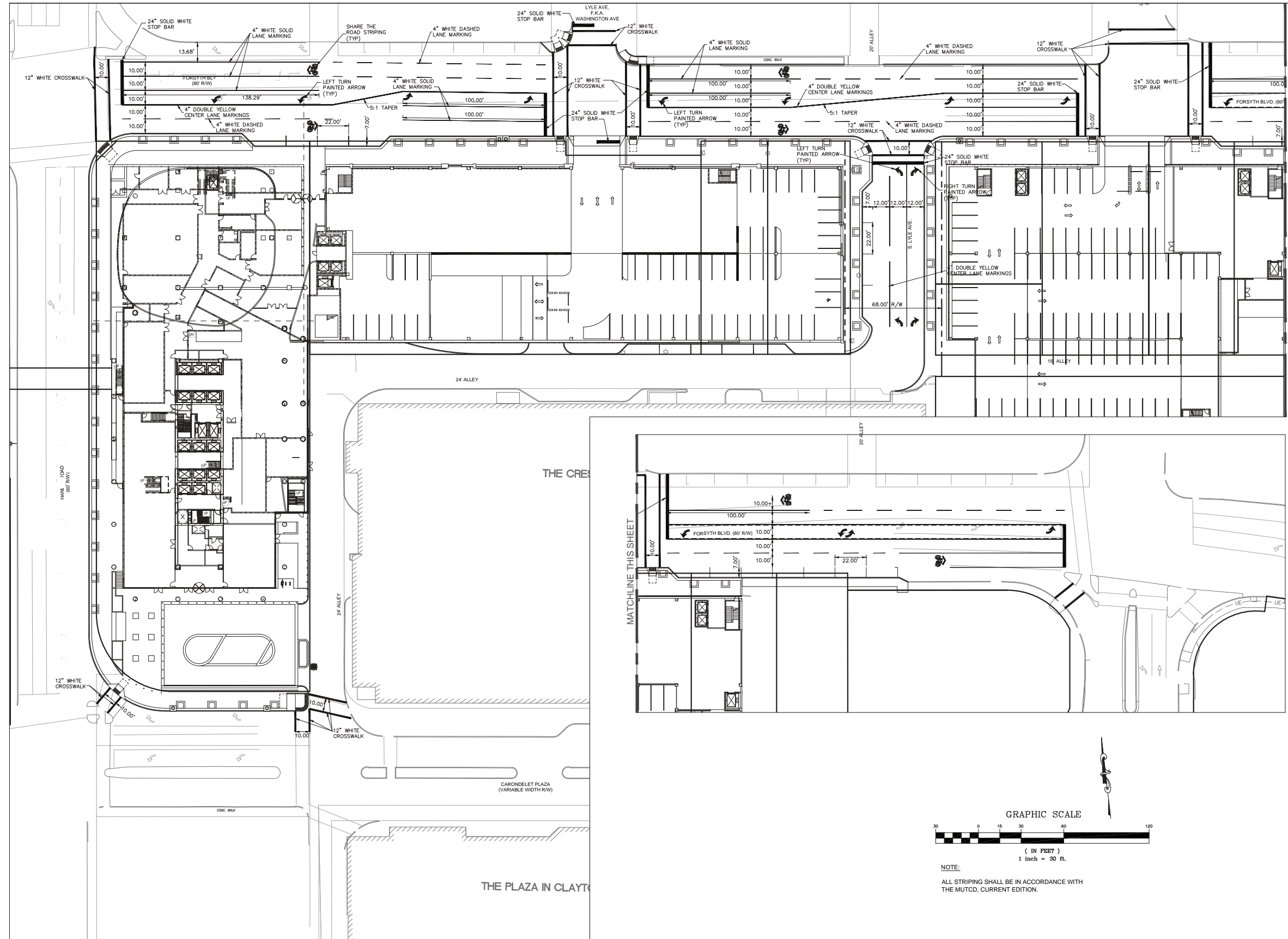
CONTRACTOR SHALL NOTIFY POLICE, FIRE DEPARTMENT, SCHOOL, ST. LOUIS COUNTY DISPATCHER AND DAVE WISSE (314-85-807) THE PUBLIC INFORMATION MANAGER FOR ST. LOUIS COUNTY TRANSPORTATION DEPARTMENT AND PUBLIC WORKS DEPARTMENT A MINIMUM OF ONE WEEK PRIOR TO THE LANE CLOSURE OF HANLEY RD.

CONTRACTOR SHALL PROVIDE A MESSAGE BOARD ALERTING MOTORIST OF THE CLOSED LANE/AROUND THEY TAKE ALTERNATE ROUTES. PROVIDE DATES OF LANE CLOSURE ON MESSAGE BOARD.

DURING CONSTRUCTION THE CONTRACTOR SHALL PROVIDE A COVERED PEDESTRIAN WALKWAY ON CARONDELET PLAZA. AT ALL TIMES THERE SHALL BE PEDESTRIAN ACCESS FROM NORTH FORSYTH SIDEWALK TO THE CARONDELET CORNER.

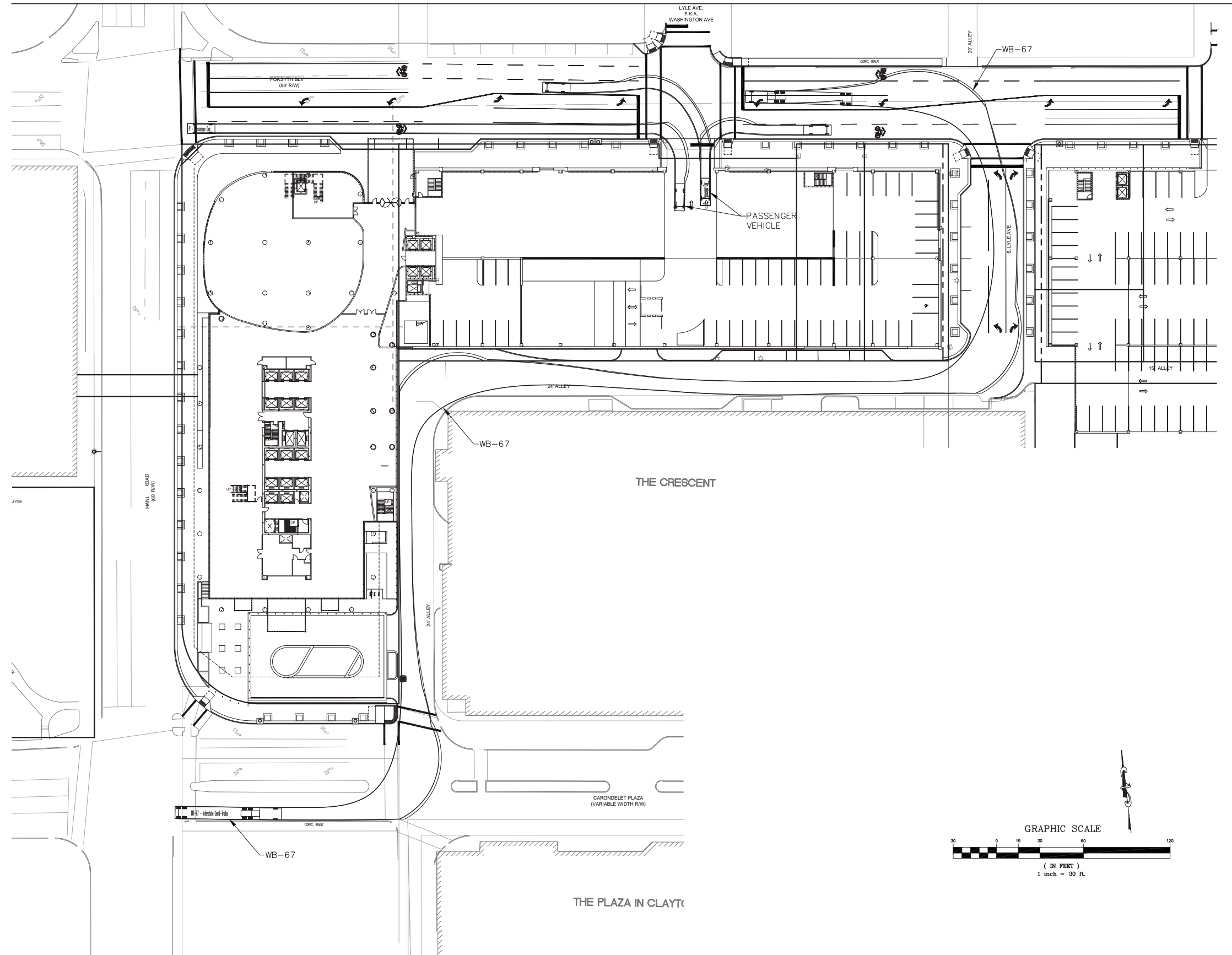
MINIMUM NUMBER OF REQUIRE TOILETS (PER OSHA)	# WORKERS EACH GENDER	MINIMUM NUMBER OF TOILETS PER GENDER
1-15	1	1
16-35	2	1
36-65	3	1
66-80	4	1
81-110	5	1
OVER 150	6	1
OVER 150	1	ADDITIONAL TOILET FOR EACH ADDITIONAL 40 EMPLOYEES.

SD1 Forsyth Striping

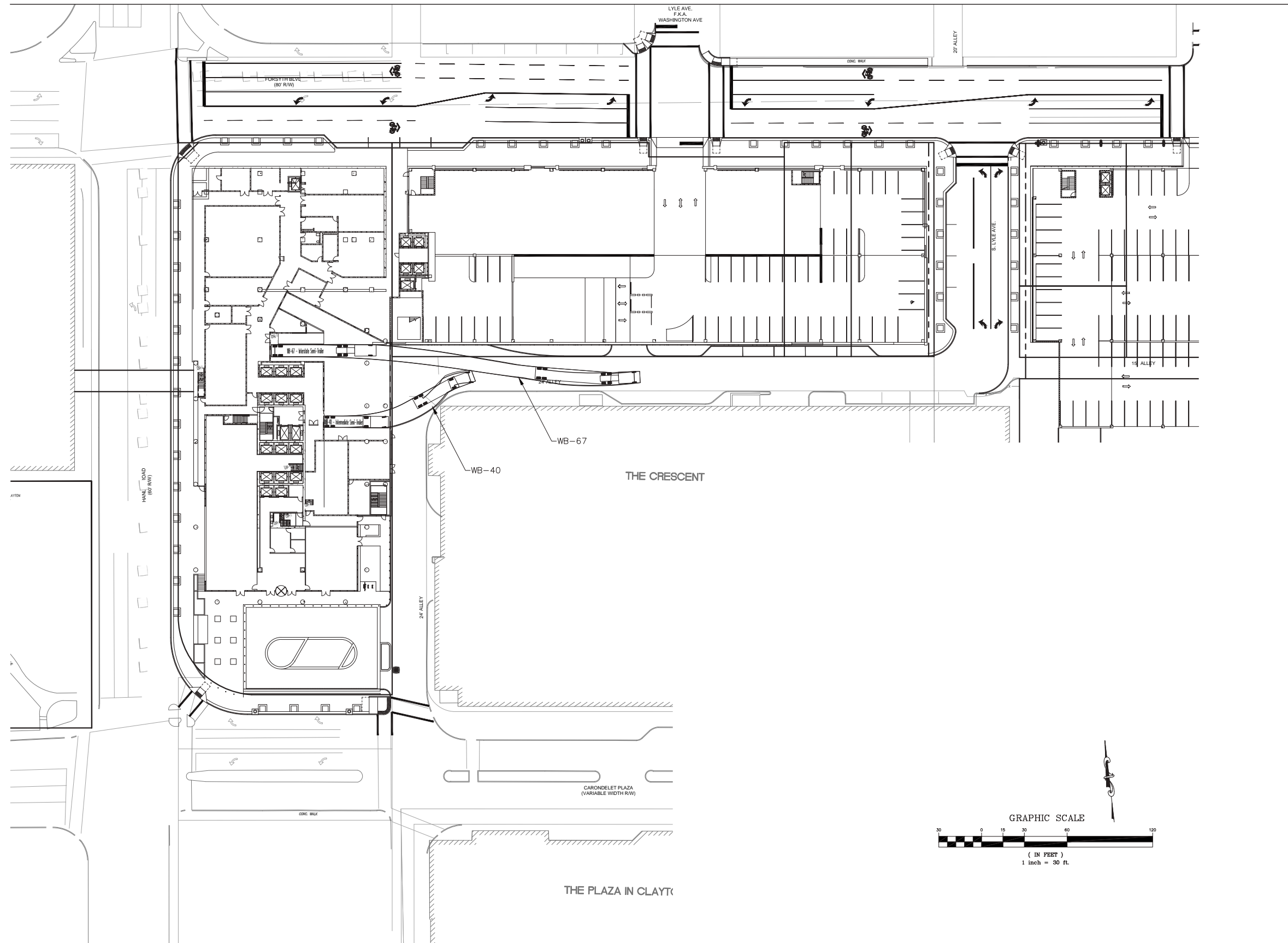


NOTE:
ALL STRIPING SHALL BE IN ACCORDANCE WITH THE MUTCD, CURRENT EDITION.

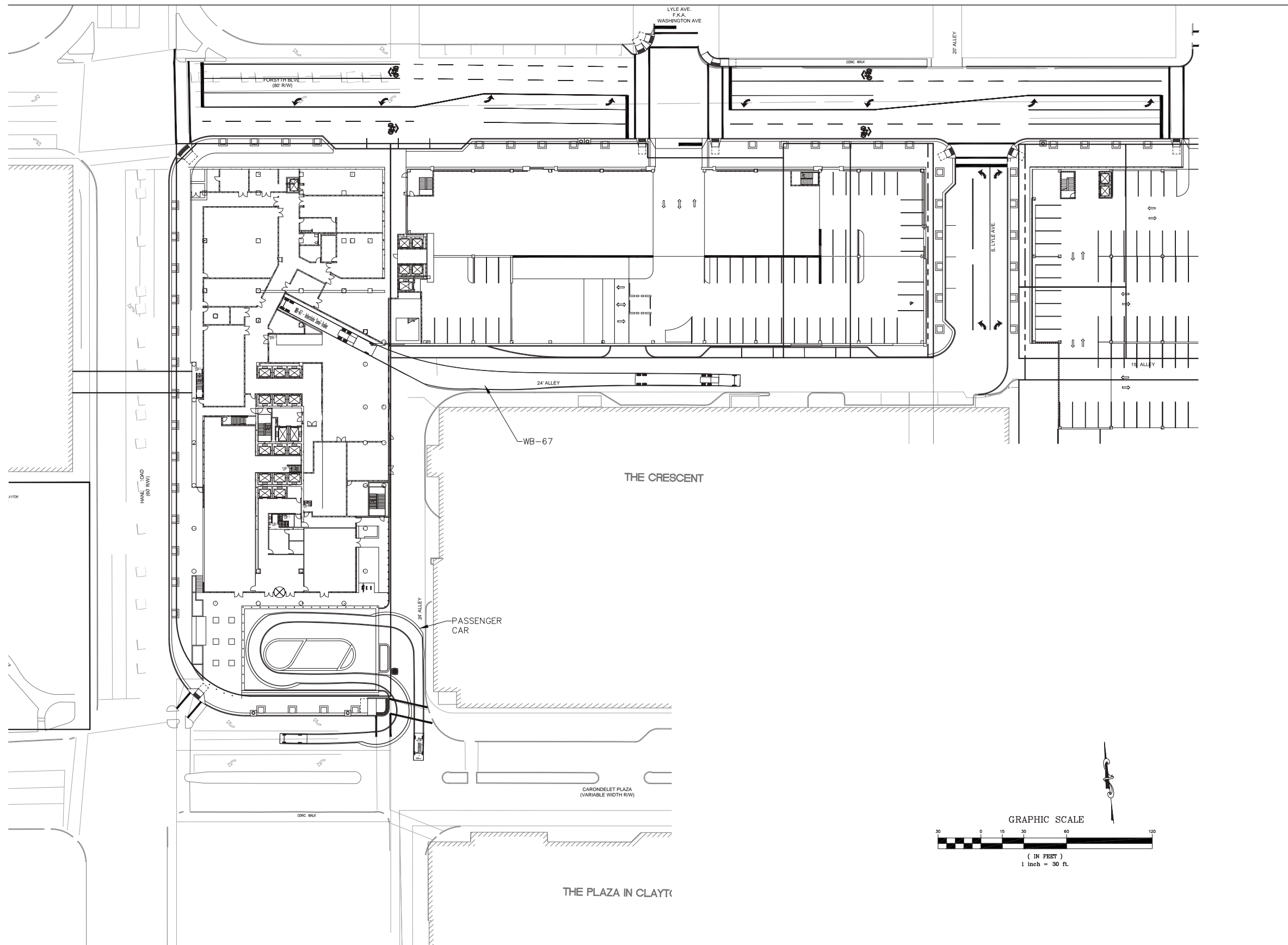
SD1 Auto Turn WB67 and Passenger



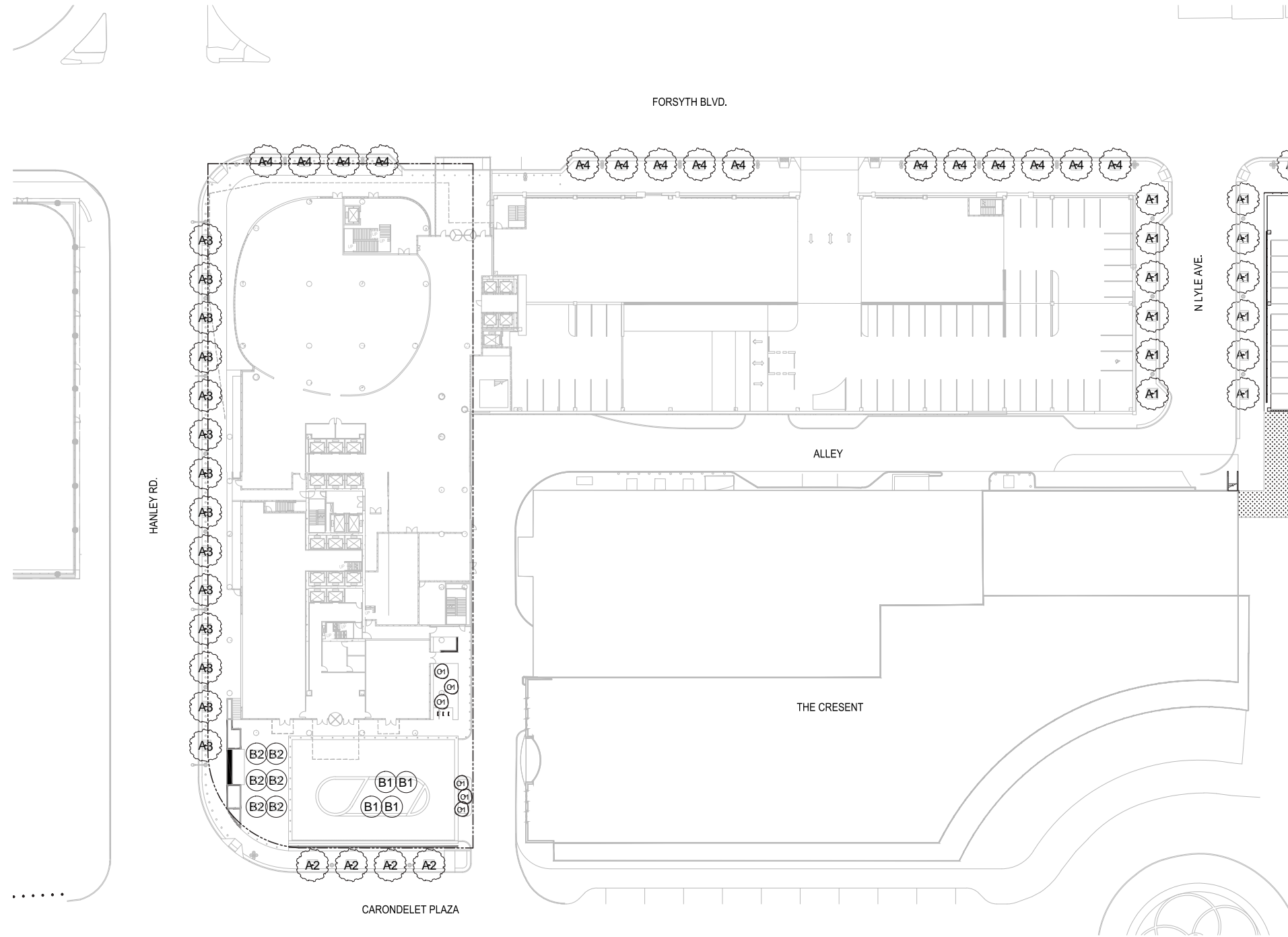
SD1 Auto Turn WB67 and WB40



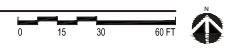
SD1 Auto Turn WB67 and Passenger



SD1 Tree Planting Plan

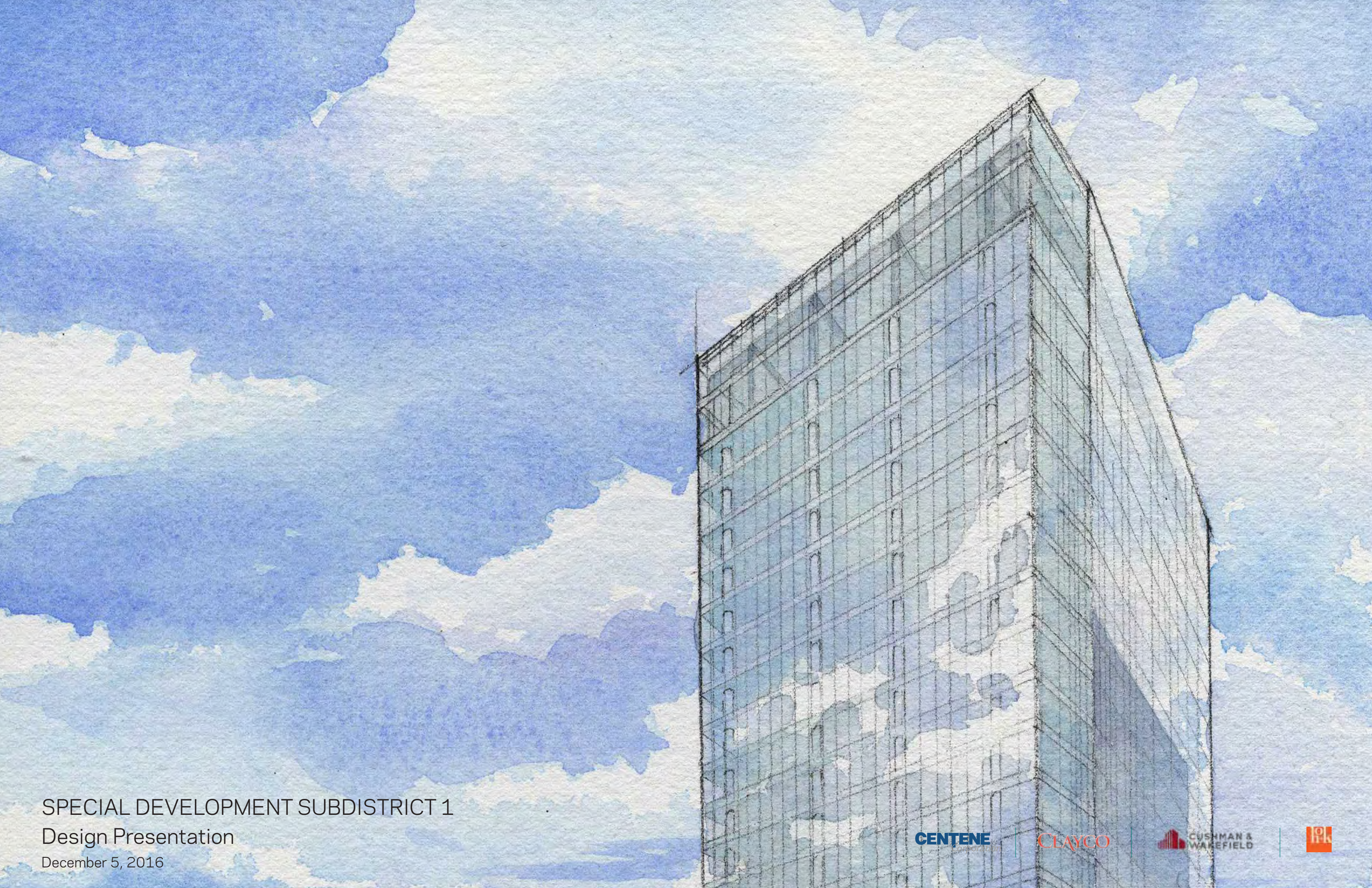


1 TREE PLANTING PLAN
1" = 30'-0"



- LEGEND**
- STREET TREE
 - CANOPY TREE
 - UNDERSTORY / FLOWERING TREE

NO.	QTY	SPECIES	COMMENTS
STREET TREES			
A1	8	Shade Tree (Proctor Spony)	Proctor Spony Shade
A2	4	Platanus x acerifolia (London Plane)	London Plane
A3	10	Fraxinus americana (White Oak)	White Oak
A4	10	Quercus prinus (White Oak)	White Oak
CANOPY TREES			
C1	4	Shade Tree (Proctor Spony)	Proctor Spony Shade
C2	8	Shade Tree (Proctor Spony)	Proctor Spony Shade
ORNAMENTAL TREES			
O1	8	Magnolia x soulangeana (Soulange Magnolia)	Soulange Magnolia
O2	8	Magnolia x soulangeana (Soulange Magnolia)	Soulange Magnolia
O3	8	Arbutus x andreae (Soulange Magnolia)	Soulange Magnolia



SPECIAL DEVELOPMENT SUBDISTRICT 1

Design Presentation

December 5, 2016



SD1 Design
September SDD submission

419' height

Cantilevered office tower

8-story parking structure

Massing consistent at parking to corner

419' height

Southern face of tower pushed north

Cantilever eliminated

8-story parking structure eliminated

Massing stepped down to four stories at
Hanley and Forsyth corner

Lower facade set in to clear Crescent balconies

Retail areas added at north and south



SD1 Design
Current

Tower mass articulated

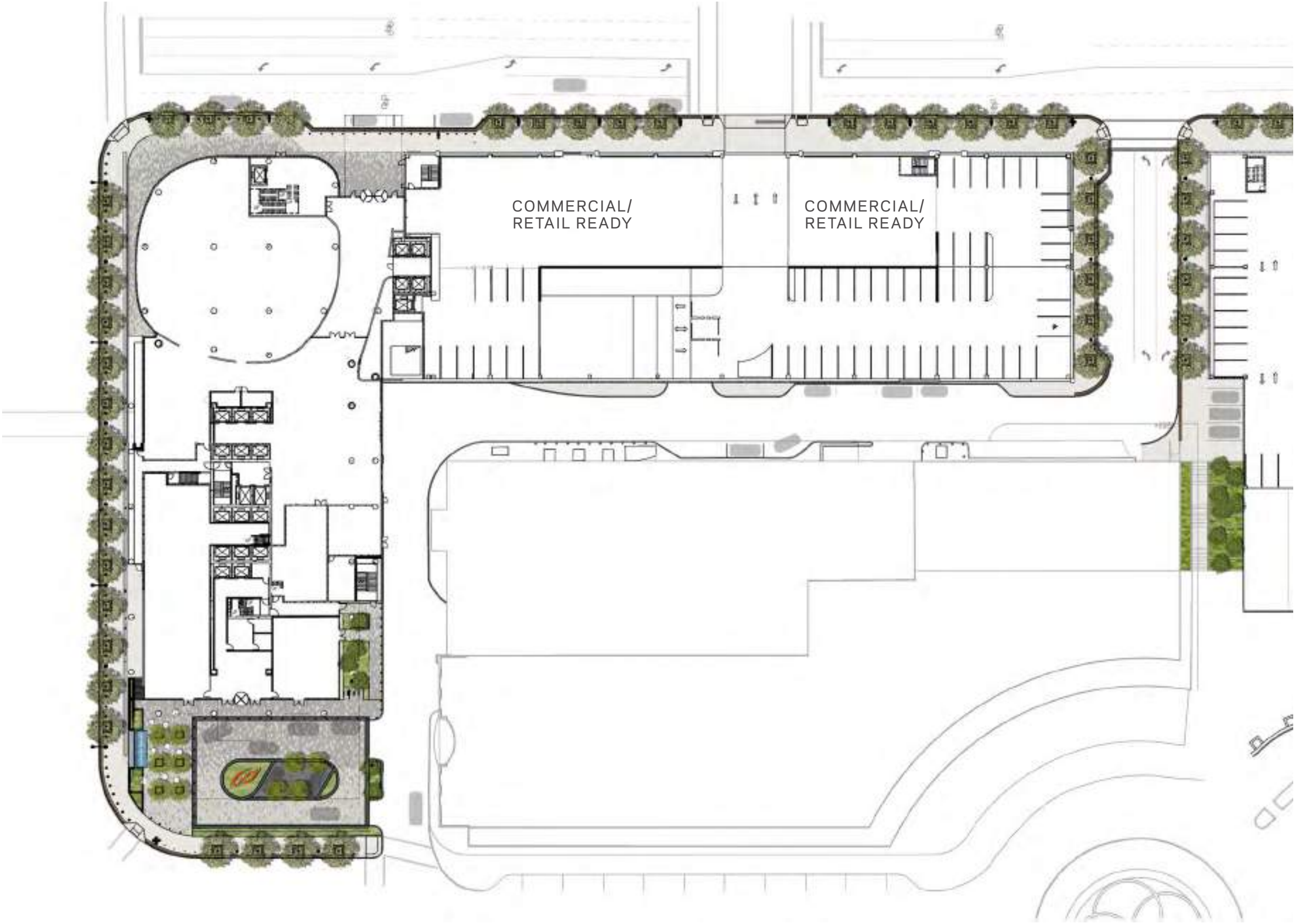
Wellbridge + Retail located at key corner



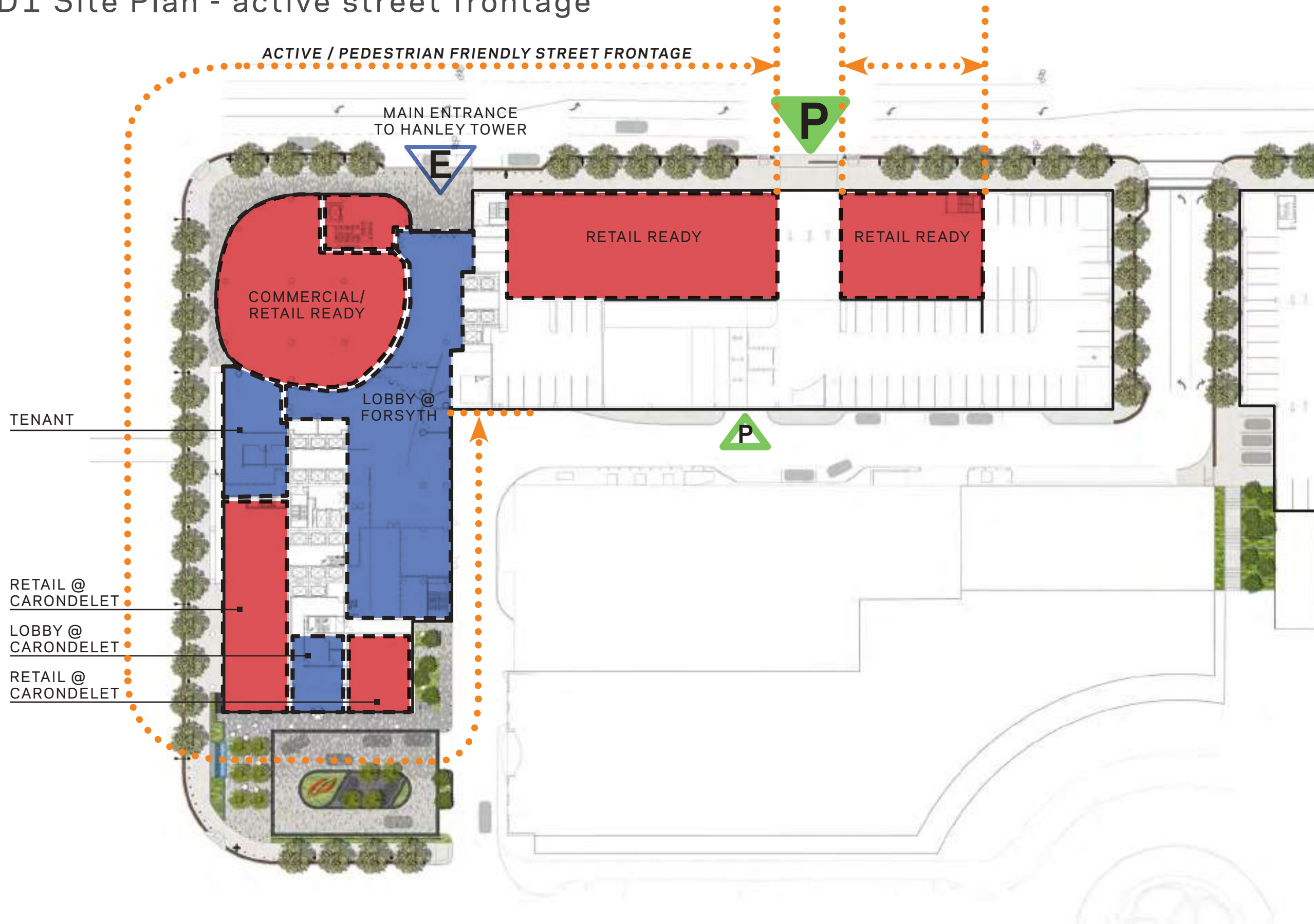
FORSYTH BLVD

SOUTH HANLEY ROAD

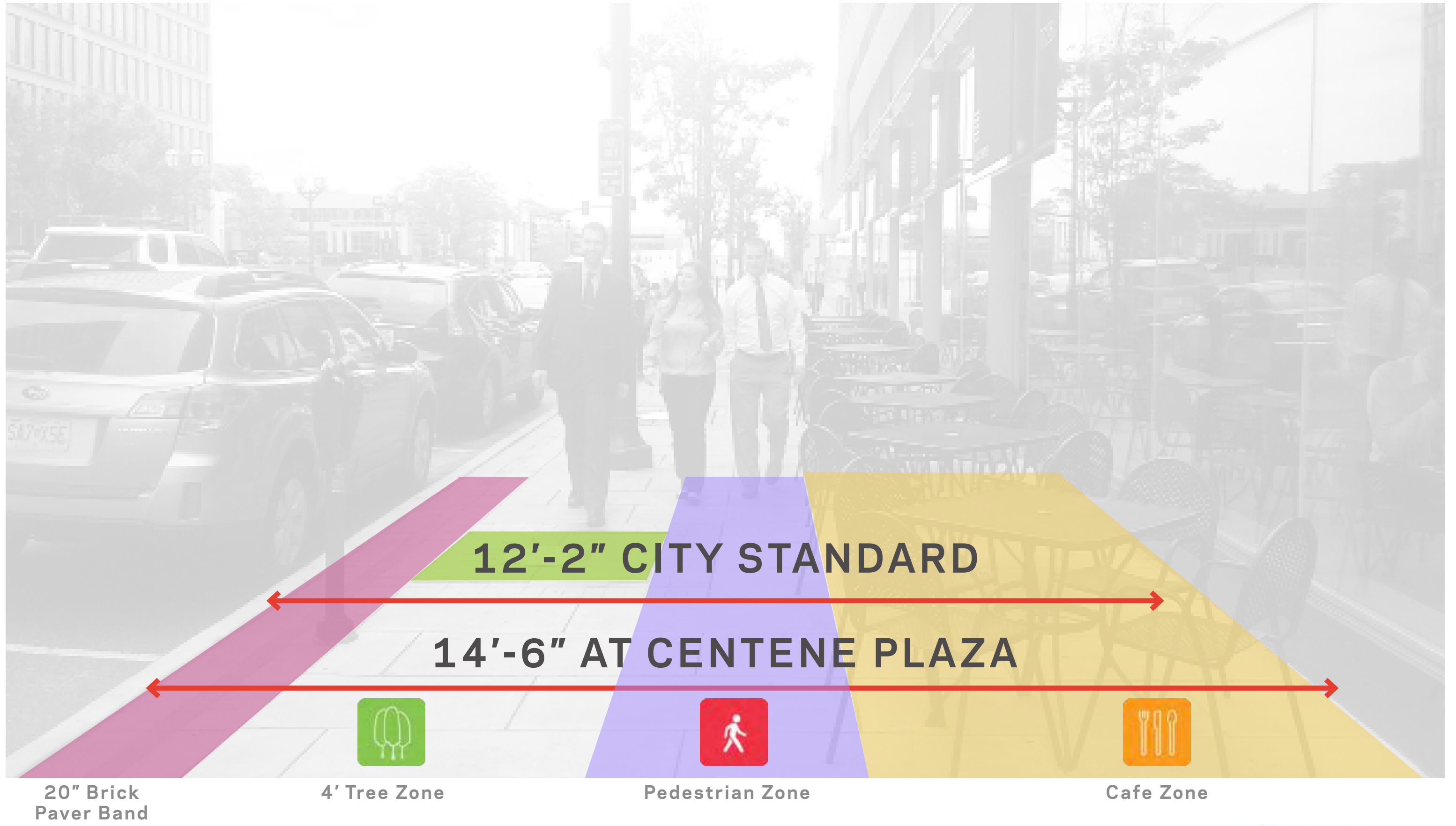
SD1 Site Plan



SD1 Site Plan - active street frontage








Existing Sidewalk Experience



SD1 Sidewalk Experience



Public Space at Sidewalk Widths

-  CITY STANDARD STREETScape
-  ENHANCED CITY STREETScape
(city minimum +2'-0" increase)
-  HANLEY SIDEWALK | 16'-4" - 24'-0"
(+ 4'-4" to +11'-10" increase)
-  FORSYTH SIDEWALK | 19'-8" - 21'-8"
(+7'-6" to +9'-6" increase)
-  SIDEWALK VARIES
20'-4" HANLEY
36'-4" AT CORNER
24'-3" FORSYTH
(+8'-2" to +12'-1" increase)

SD1 Pedestrian Experience



Widened sidewalk will allow for planters by retail tenants at Forsyth and Hanley corner

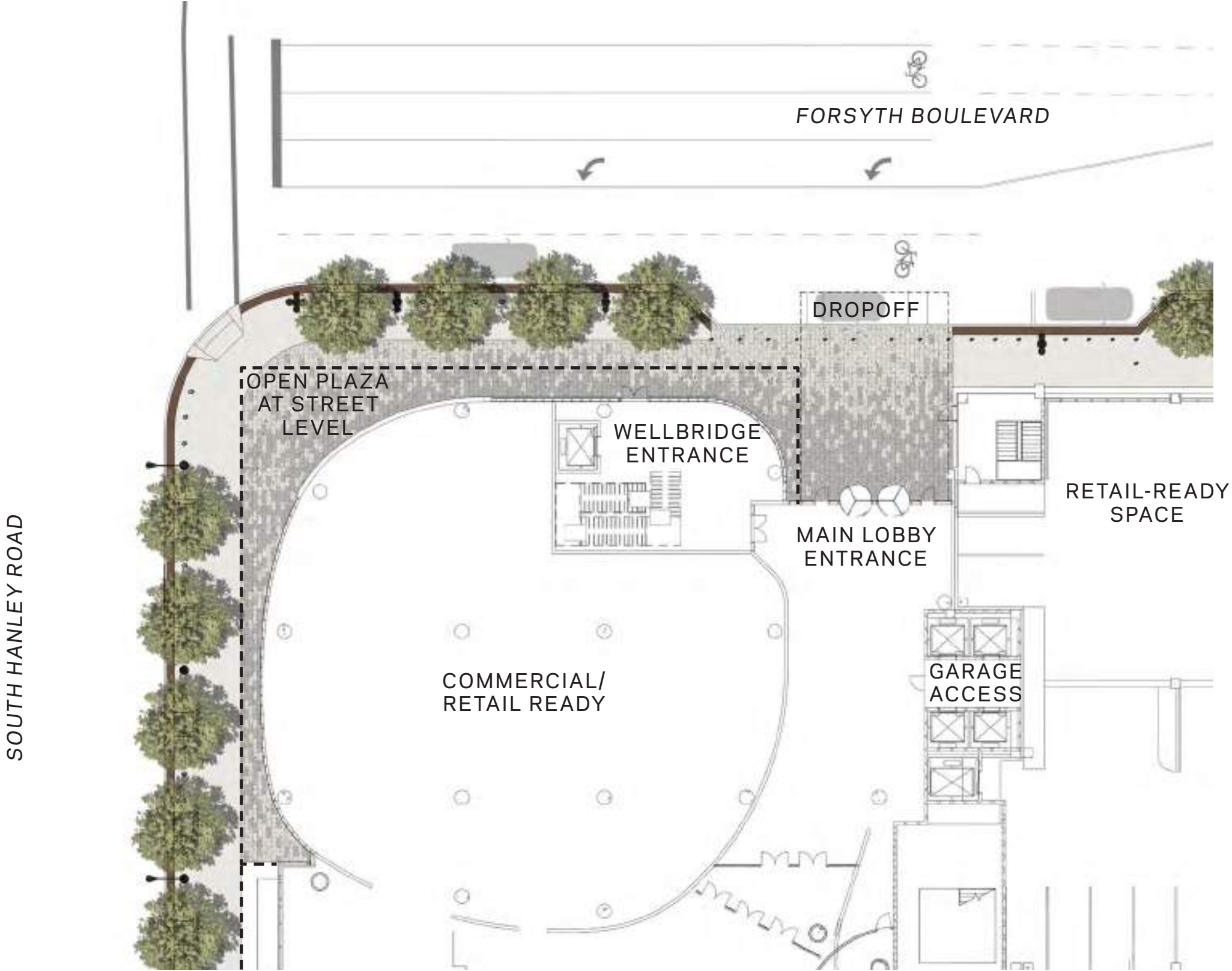


Widened sidewalk will allow for seating and planters by retail tenants along Forsyth



Site wall is activated with a water feature and planters at the top surface to soften the experience

SD1 Illustrative Plan Forsyth Level



SD1 Illustrative Plan South Drop Off



SD1 Site Material Palette



1 GRANITE STEPS



2 GRANITE COBBLES



3 GRANITE PAVERS



4 GRANITE PAVERS



5 CONCRETE PAVERS



6 CONCRETE PAVERS



7 CONCRETE HEXAGONAL PAVERS



8 CONCRETE PLANK PAVERS



9 PAVING MATERIALS SELECTED COLOR PALETTE



NOTES:
 1. COLORS WOULD APPLY TO BIKE RACKS, CAFE TABLES AND CHAIRS, AND TRASH / RECYCLING RECEPTACLES.
 2. MANUFACTURER: LANDSCAPFORMS

10 SITE FURNISHINGS SELECTED COLOR PALETTE

SD1 Landscape Palette



Tulip Tree



Black Gum



Honeylocust



Swamp White Oak



River Birch



London Planetree



Kentucky Coffeetree



Shawnee Brave Bald Cypress

SD1 Green Roofs



SD1 Tower Green Roof Terrace





OFFICE

WELLBRIDGE

WELLBRIDGE

RETAIL

GARAGE

RETAIL

FORSYTH BLVD

SOUTH HANLEY ROAD

S. Hanley Rd

SD1 View Northeast from Hanley looking at Plaza and Drop-off





OFFICE

WELLBRIDGE

WELLBRIDGE

GARAGE

MAIN ENTRY

RETAIL

FORSYTH BLVD

RETAIL

SOUTH HANLEY ROAD

SD1 Night view Southeast from Hanley + Forsyth





OFFICE

WELLBRIDGE

RETAIL

SD1 Day view Southeast
from Hanley + Forsyth

CENTENE
Corporation

CLAYCO

**CUSHMAN &
WAKEFIELD**





SD1 Day view, from north



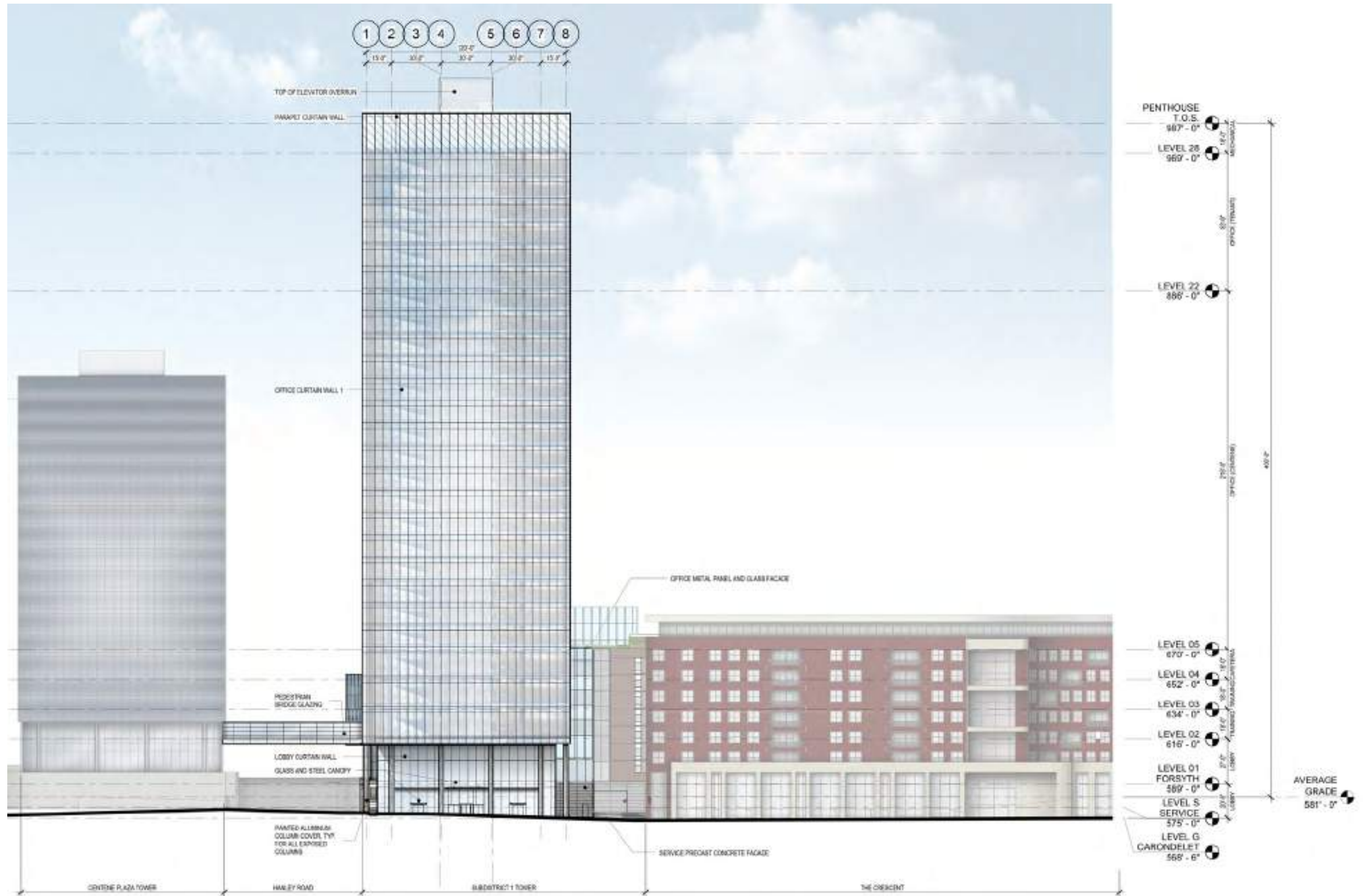
CENTENE
PLAZA

CENTENE
SD1

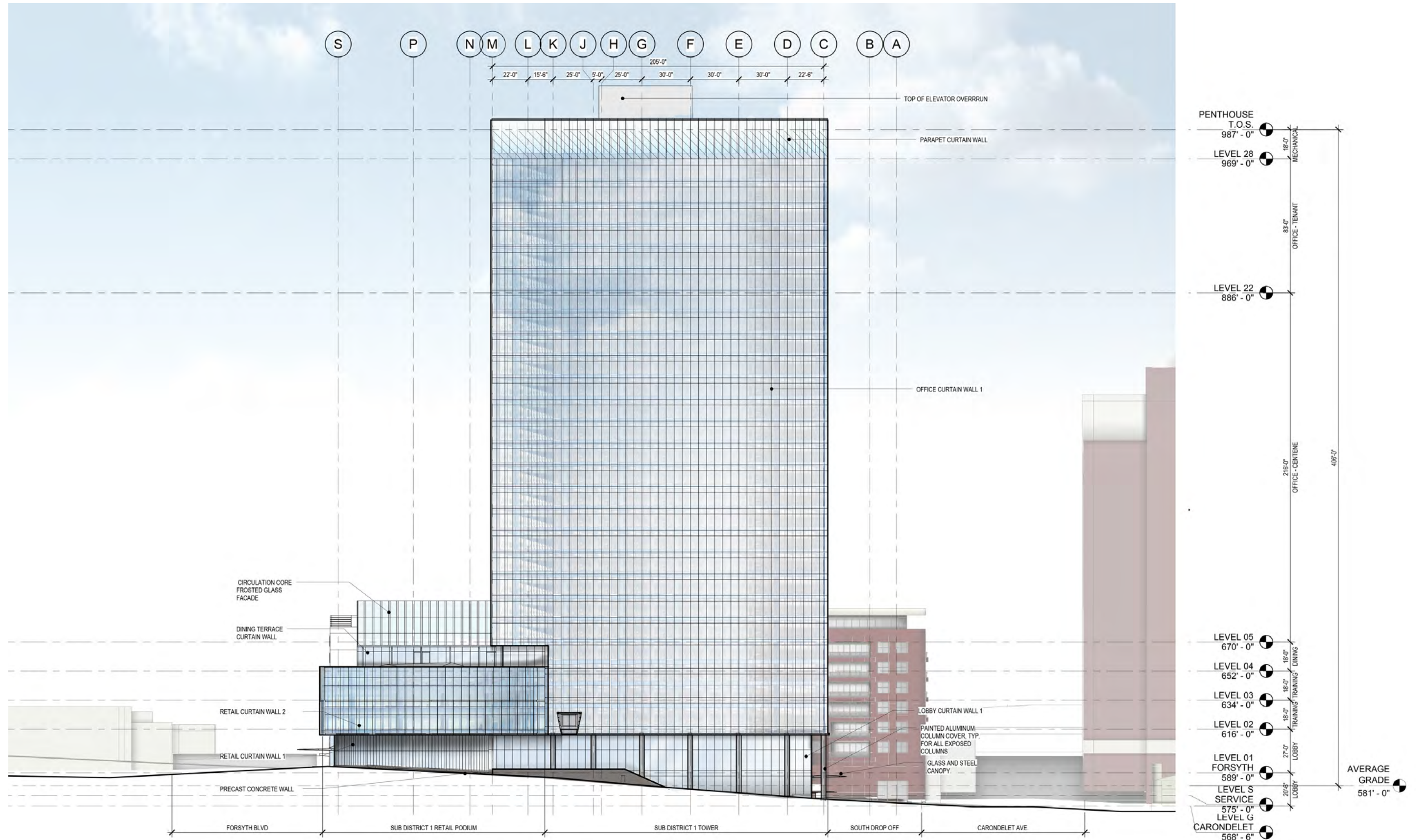
SD4
OPEN SPACE

SD1 View Northeast from Carondelet looking at Plaza and Drop-off

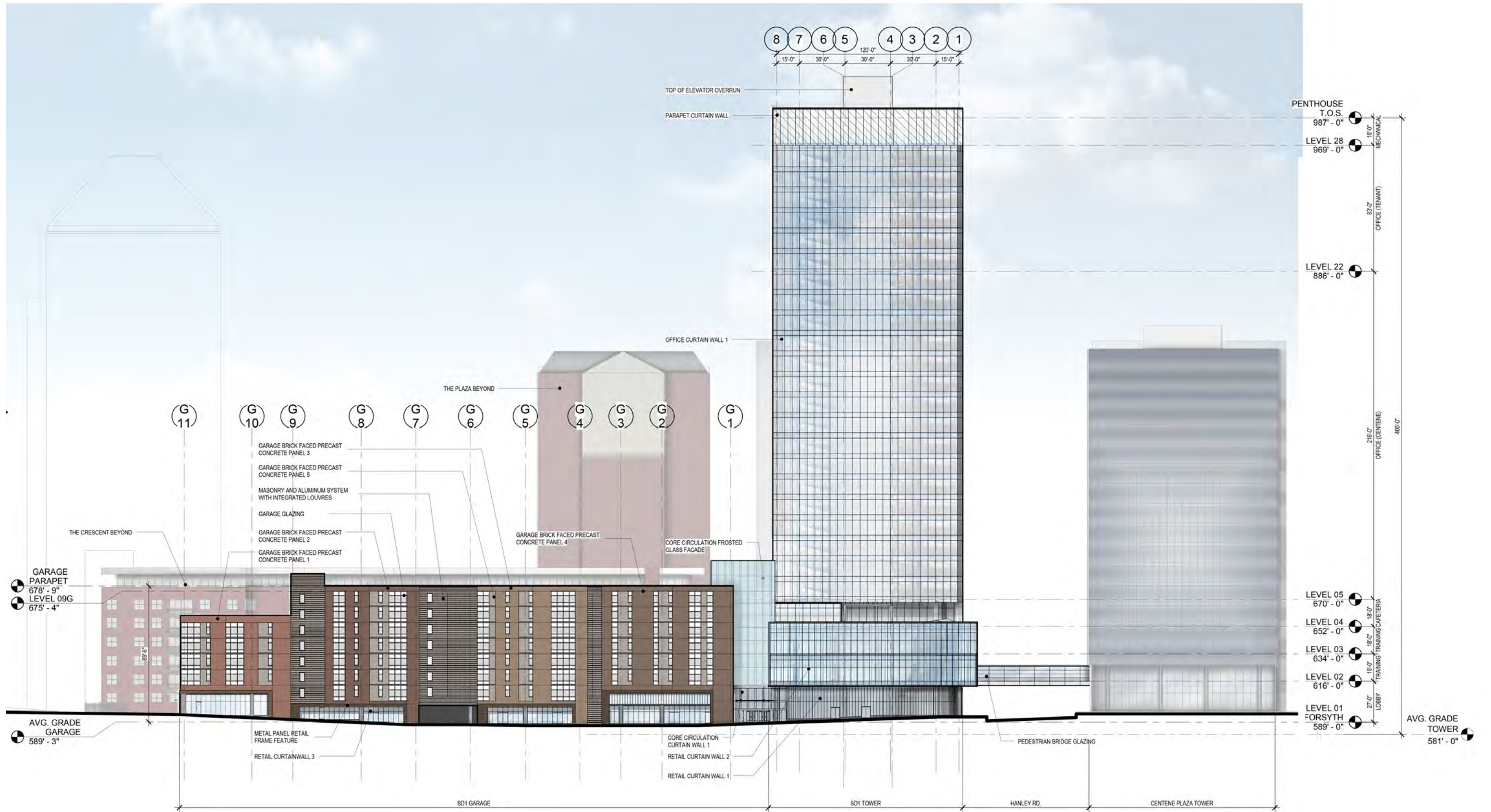
SD1 Tower South Elevation - Carondelet Plaza



SD1 Tower West Elevation - Hanley Road



SD1 Tower/ Garage North Elevation - Forsyth Blvd



SD1 Garage Forsyth Elevation - Bay detail

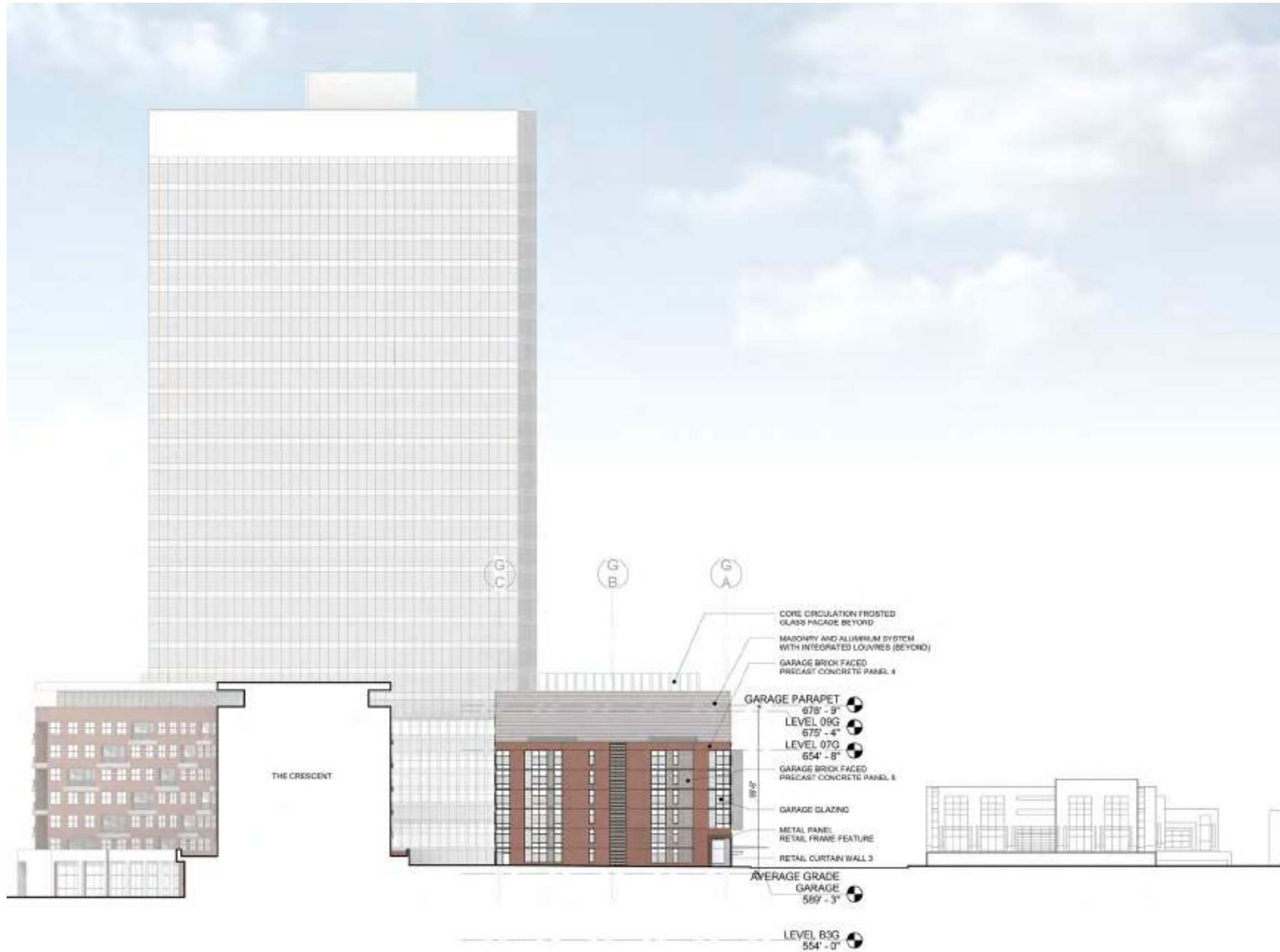


Upper glazing area for tenant awnings, etc, to further articulate and enliven street

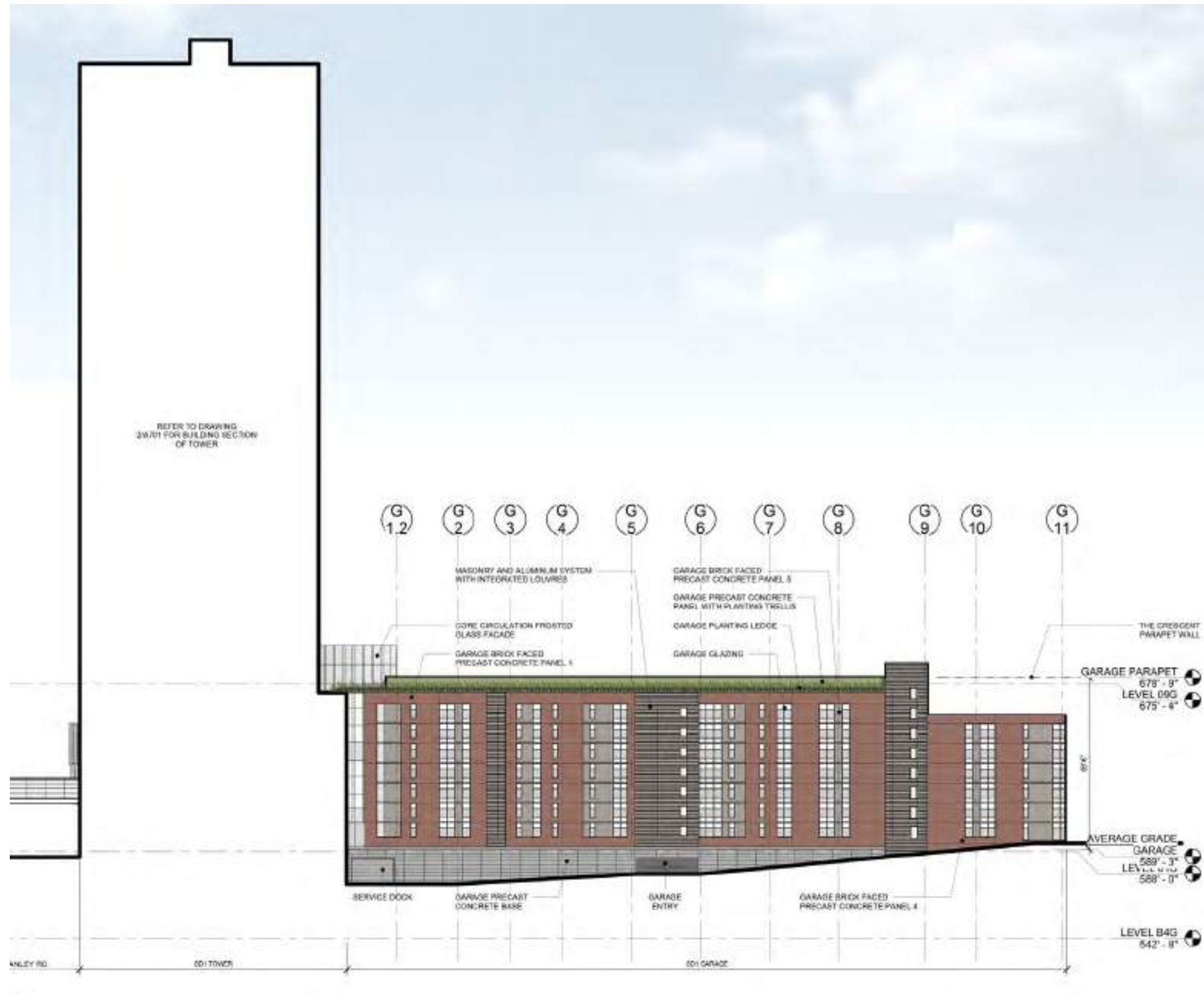
Elevation at street frontage varies for further articulation



SD1 Garage East Elevation - S Lyle Ave



SD1 Garage South Elevation - S Lyle Alley



SD1 Garage Alley Elevation - Bay detail



Upper level will allow for a vertical green screen facing south

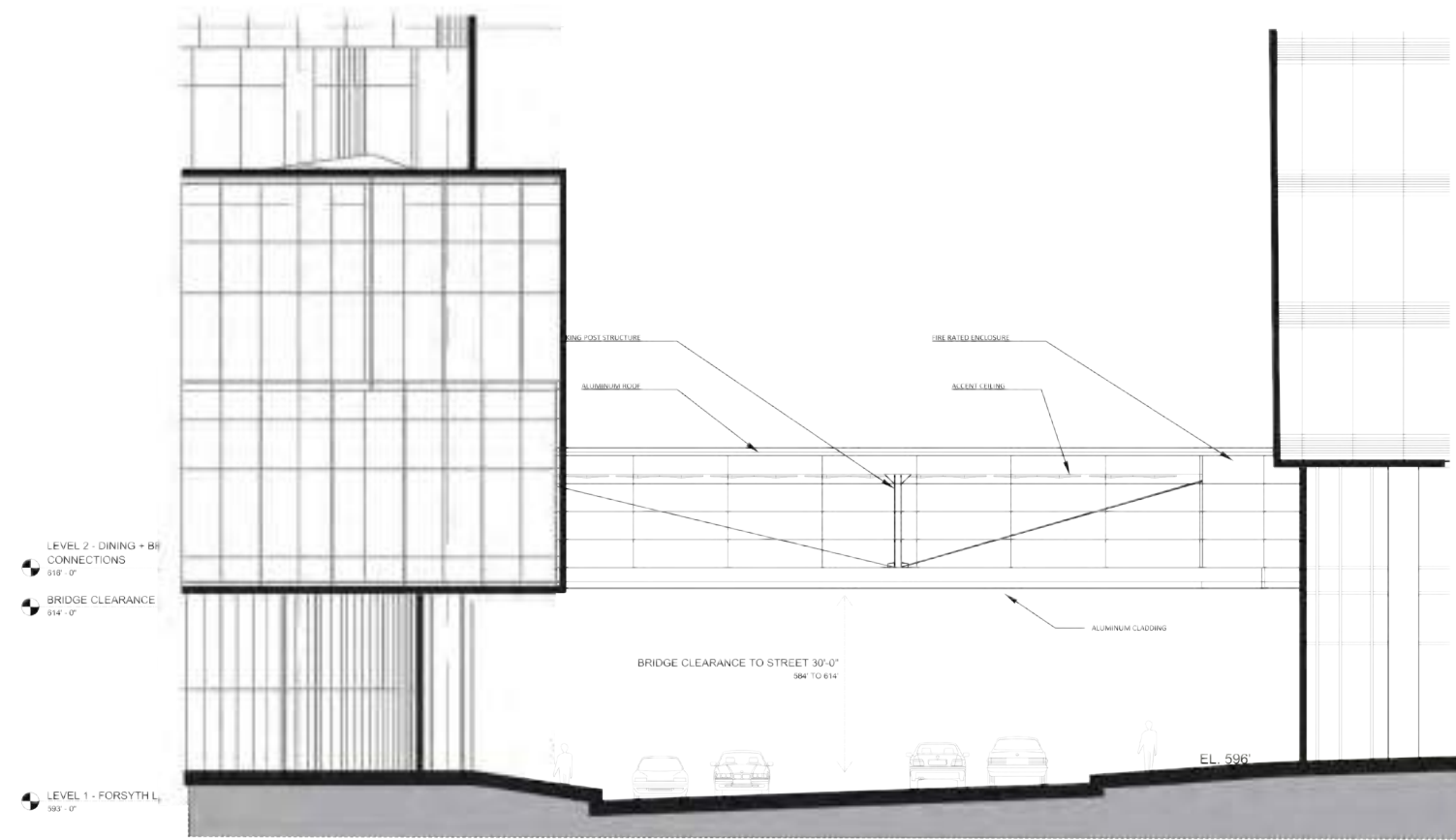
- LEVEL 09G
675' - 4"
- LEVEL 08G
665' - 0"
- LEVEL 07G
654' - 8"
- LEVEL 06G
644' - 4"
- LEVEL 05G
634' - 0"
- LEVEL 04G
623' - 8"
- LEVEL 03G
613' - 4"
- LEVEL 01G
588' - 0"
- LEVEL B1G
576' - 8"



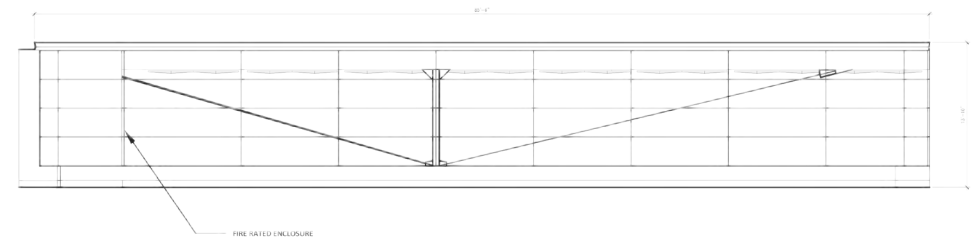
All elevations will have articulated brick and masonry detailing



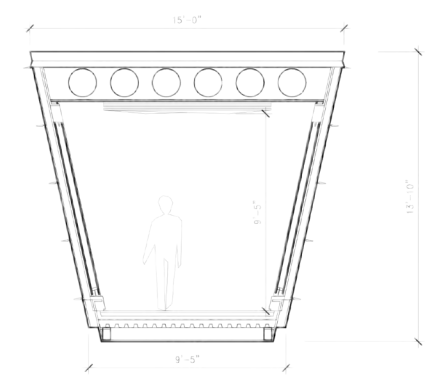
SD1 Pedestrian Bridge



5 NORTH BRIDGE ELEVATION
SCALE 1/8" = 1'-0"



4 SOUTH BRIDGE ELEVATION
SCALE 1/8" = 1'-0"



3 BRIDGE SECTION
SCALE 1/4" = 1'-0"



2 3D VIEW LOOKING NORTH
SCALE NA



1 3D INTERIOR VIEW
SCALE NA

SD1 Material Board

Material board showing various material samples including wall panels, window treatments, and color swatches.

CENTENE CLAYTON CAMPUS - SD1

Architectural renderings of the Centene Clayton Campus building from different angles, showing glass facades and structural elements.

Material board showing various paving and site furnishing samples.

Site plan diagrams showing building layout, drop-off/pick-up zones, and landscaping.

KEY

- GL01: Glazing at Office Vision + Spandrel
- GL02: Glazing at Office Parapet
- GL03: Glazing at Lobby
- GL04: Glazing at Level 01 Forsyth Retail
- GL05: Glazing at Level 02-03 Retail
- GL06: Glazing at Level 04 Dining Terrace
- GL07: Glazing at Main Entry Volume
- GL08: Glazing at East Tower Haunch
- GL09: Glazing at Hanley Pedestrian Bridge
- MO1: Metal Column Covers + Soffit Trim
- MO2: Metal Mullions
- MO3: Metal Accent at Retail
- PV01: Paving
- PV02: Paving
- PV03: Paving
- PV04: Paving
- PV05: Paving
- PC01: Precast Concrete
- PC02: Precast Concrete
- WD01: Wood
- BR01: Brick at Forsyth Mixed Use
- BR02: Brick at Forsyth Mixed Use
- BR03: Brick at Forsyth Mixed Use
- BR04: Brick at Forsyth Mixed Use
- SF01: Metal Site Furnishings
- SF02: Metal Site Furnishings

SD1 Material Board

The material board displays a variety of textures and colors. At the top, there are wood-grain panels (BR01, BR02, BR03, BR04) and a large stone panel (ST01). Below these are three dark, textured panels (M01, M02, M03) and a large, light-colored stone panel (GL01). The middle section features a grid of brick samples in various shades of red and brown (BR01-04). The bottom section shows a grid of stone and concrete samples in neutral tones (GL01-09, PC01-02, WD01).

CENTENE CLAYTON CAMPUS - SD1

The architectural drawings include:

- 1 NORTH ELEVATION - SUBDISTRICT 1**: Shows the building facade with material callouts BR01, BR02, BR03, BR04, GL01, M05, GL10, and M03.
- 2 SOUTH ELEVATION - SUBDISTRICT 1**: Shows the building facade with material callouts BR02, BR04, GL07, GL08, GL09, GL10, M01, M02, and M03.
- 3 WEST ELEVATION - SUBDISTRICT 1**: Shows the building facade with material callouts GL06, GL05, GL03, M01, GL03, and PC01.
- 4 EAST ELEVATION - SUBDISTRICT 1**: Shows the building facade with material callouts GL01 and GL03.
- 5 WEST ELEVATION - SUBDISTRICT 1**: Shows the building facade with material callouts GL06, GL05, GL03, M01, GL03, and PC01.
- 6 EAST ELEVATION - SUBDISTRICT 1**: Shows the building facade with material callouts GL01, GL06, GL05, GL03, and PC01.

KEY

- GL01: Glazing at Office Vision + Spandrel
- GL02: Glazing at Office Parapet
- GL03: Glazing at Lobby
- GL04: Glazing at Level 01 Forsyth Retail
- GL05: Glazing at Level 02-03 Retail
- GL06: Glazing at Level 04 Dining Terrace
- GL07: Glazing at Main Entry Volume
- GL08: Glazing at East Tower Haunch
- GL09: Glazing at Hanley Pedestrian Bridge
- M01: Metal Column Covers + Soffit Trim
- M02: Metal Mullions
- M03: Metal Accent at Retail
- PV01: Paving
- PV02: Paving
- PV03: Paving
- PV04: Paving
- PV05: Paving
- PC01: Precast Concrete
- PC02: Precast Concrete
- WD01: Wood
- BR01: Brick at Forsyth Mixed Use
- BR02: Brick at Forsyth Mixed Use
- BR03: Brick at Forsyth Mixed Use
- BR04: Brick at Forsyth Mixed Use
- SF01: Metal Site Furnishings
- SF01: Metal Site Furnishings

SD1 Material Board



Customer: HOK
Project: Centene
Glass Type: WTC7 + WTC Museum
E24-58 Insulating HS/HS
1.14" - 1/8" net Spigot/Seal HD
1.14" - 1/8" net Spigot/Seal HD
1.14" - 1/8" net Spigot/Seal HD
1.14" - 1/8" net Spigot/Seal HD

WORLD TRADE CENTER 7 + MUSEUM

Customer: HOK
Project: Centene
Glass Type: WTC4
1" VRE13-38 Insulating HS/HS
1.14" - 1/8" net Spigot/Seal HD
1.14" - 1/8" net Spigot/Seal HD
1.14" - 1/8" net Spigot/Seal HD
1.14" - 1/8" net Spigot/Seal HD

WORLD TRADE CENTER 4

Customer: HOK
Project: Centene
Glass Type: WTC1
1" VRE24-54 Insulating HS/HS
1.14" - 1/8" net Spigot/Seal HD
1.14" - 1/8" net Spigot/Seal HD
1.14" - 1/8" net Spigot/Seal HD
1.14" - 1/8" net Spigot/Seal HD

WORLD TRADE CENTER 1 (FREEDOM TOWER)

Customer: HOK
Project: Centene
Glass Type: 1B3
VRE24-36 Clear Ins HS/HS Silkscreen
1.14" - 1/8" net Spigot/Seal HD
1.14" - 1/8" net Spigot/Seal HD
1.14" - 1/8" net Spigot/Seal HD
1.14" - 1/8" net Spigot/Seal HD

GLO1B
SIMILAR TO ORIGINAL
DARKER FRIT
MOST REFLECTIVE

Customer: HOK
Project: Centene
Glass Type: 1A3
1" VRE24-46 Clear Ins HS/HS Silkscreen
1.14" - 1/8" net Spigot/Seal HD
1.14" - 1/8" net Spigot/Seal HD
1.14" - 1/8" net Spigot/Seal HD
1.14" - 1/8" net Spigot/Seal HD

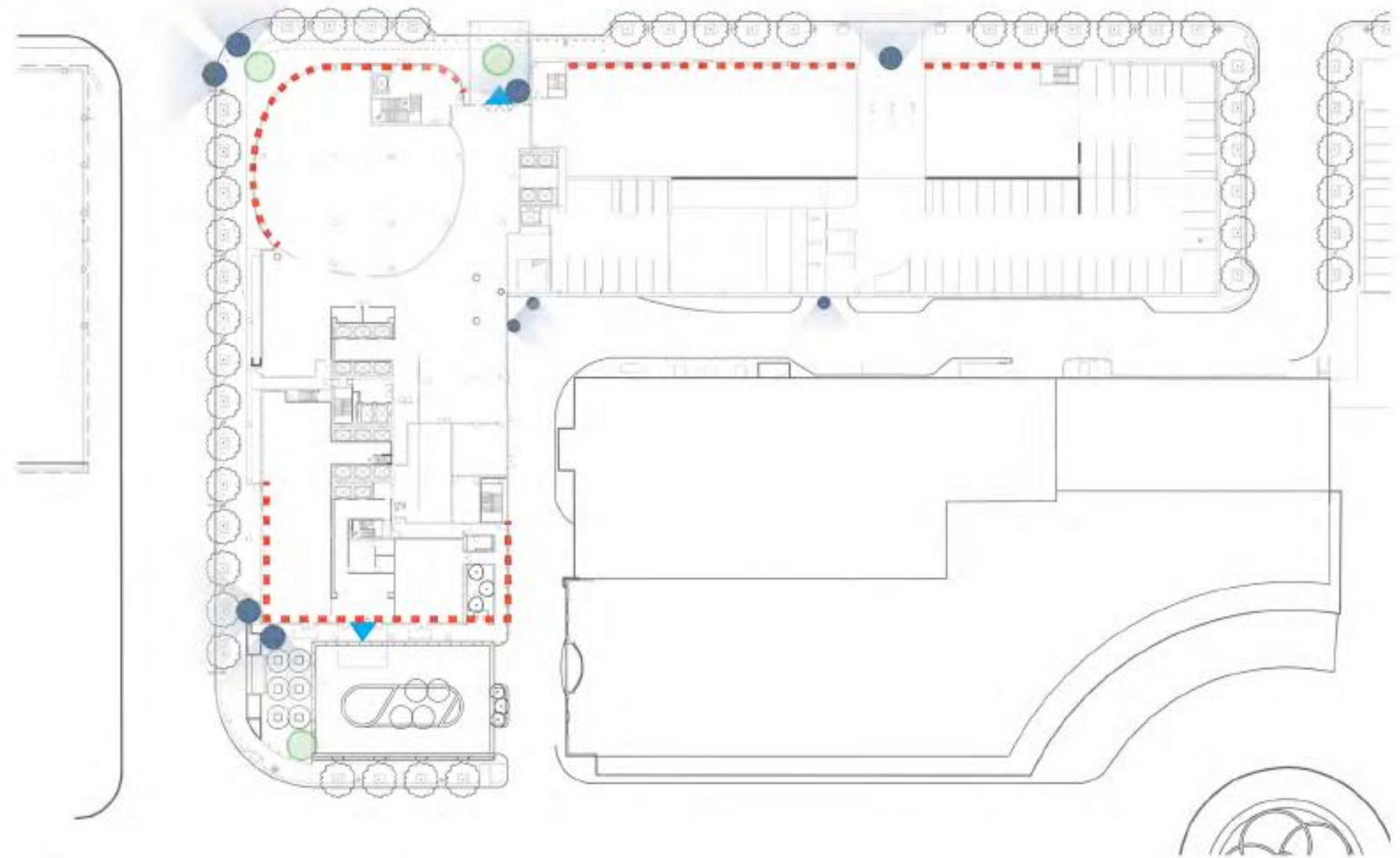
GLO1A
SIMILAR TO ORIGINAL
DARKER FRIT
MORE REFLECTIVE

Customer: HOK
Project: Centene
Glass Type: OPT 0A
VRE24-54 Clear Ins HS/HS Silkscreen
1.14" - 1/8" net Spigot/Seal HD
1.14" - 1/8" net Spigot/Seal HD
1.14" - 1/8" net Spigot/Seal HD
1.14" - 1/8" net Spigot/Seal HD

ORIGINAL CENTENE PLAZA

GLO1

SD1 Signage

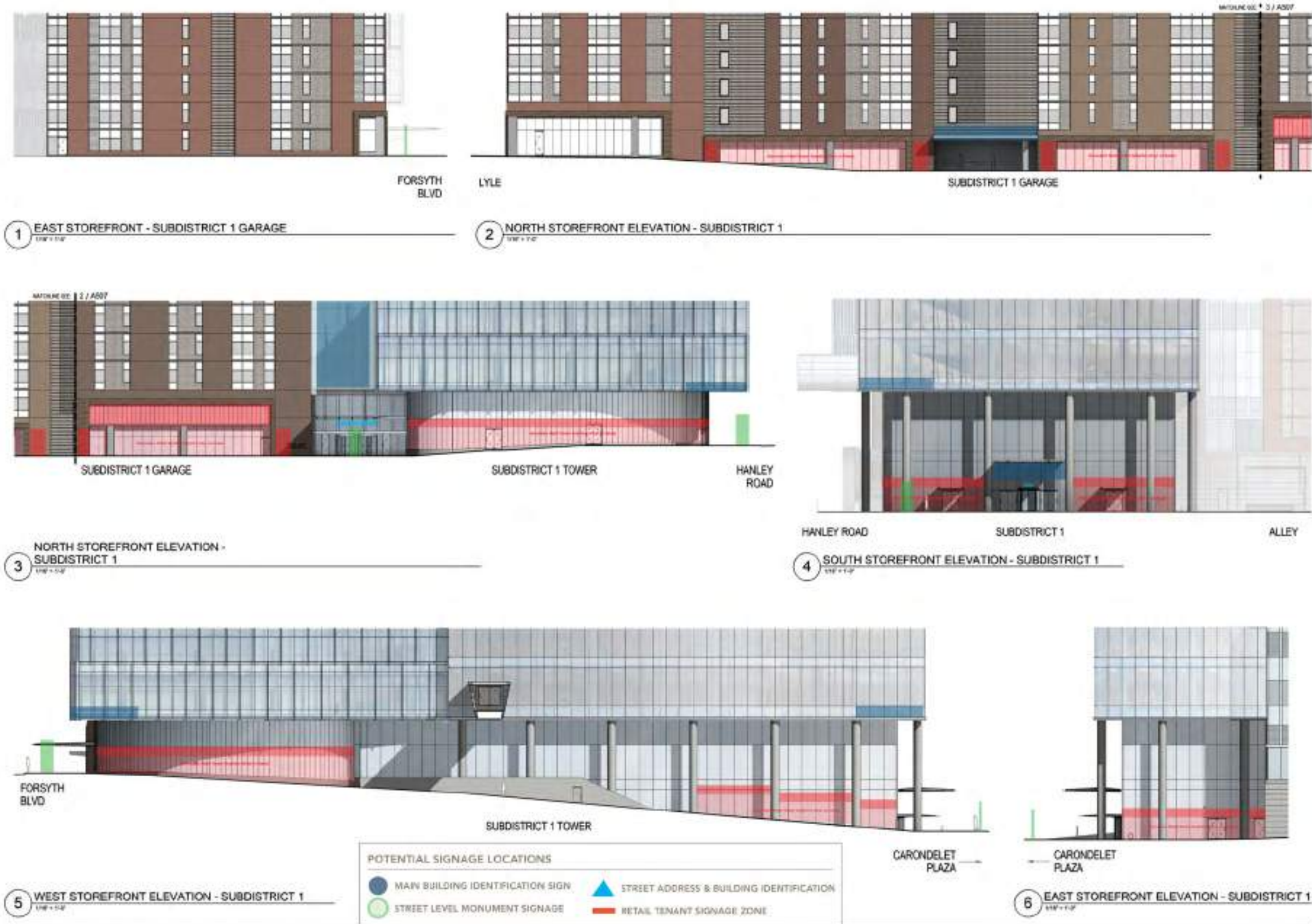


1 SIGNAGE PLAN
1" = 30'-0"

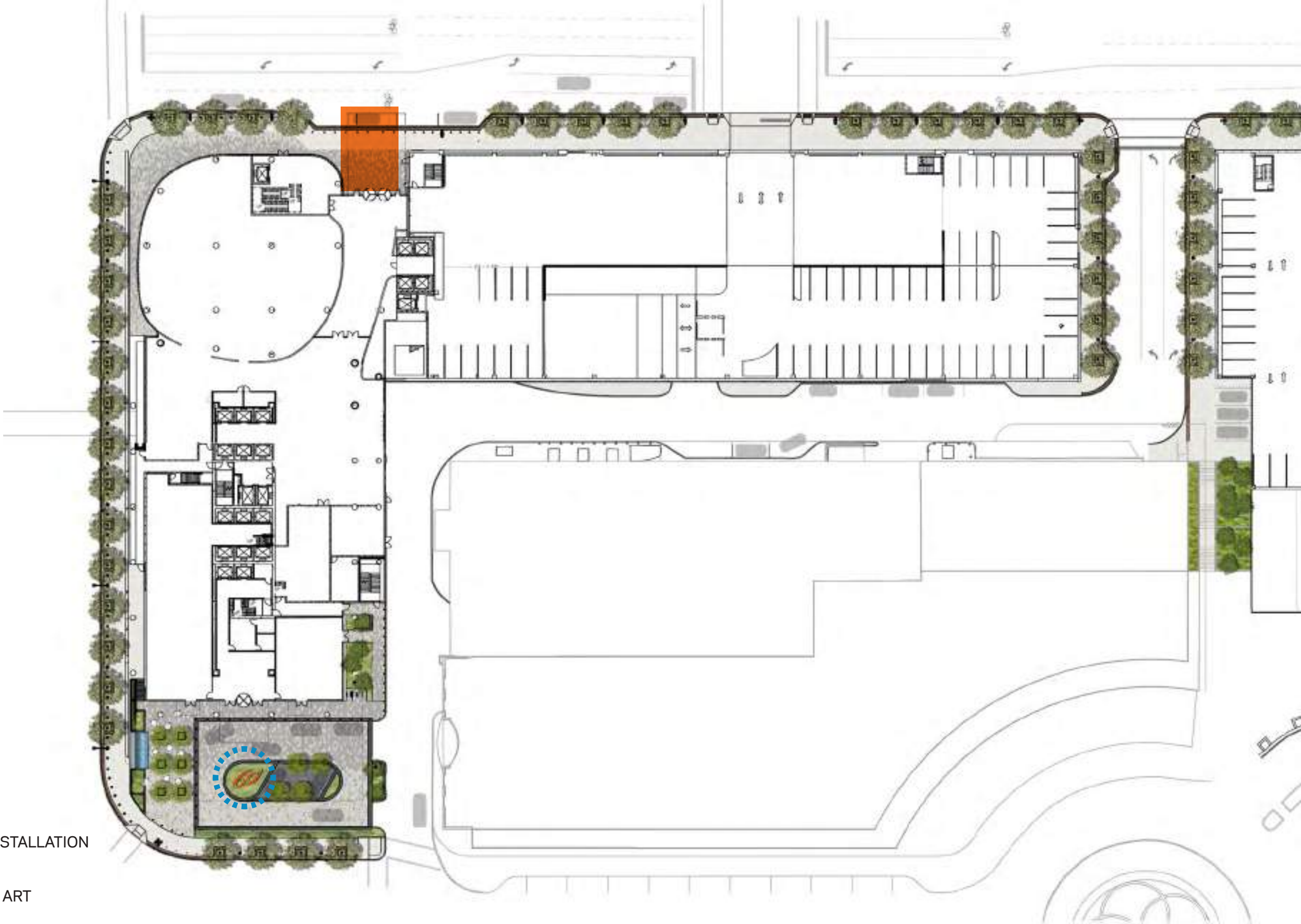
POTENTIAL SIGNAGE LOCATIONS

 MAIN BUILDING IDENTIFICATION SIGN	 STREET ADDRESS & BUILDING IDENTIFICATION
 STREET LEVEL MONUMENT SIGNAGE	 RETAIL TENANT SIGNAGE ZONE

SD1 Signage



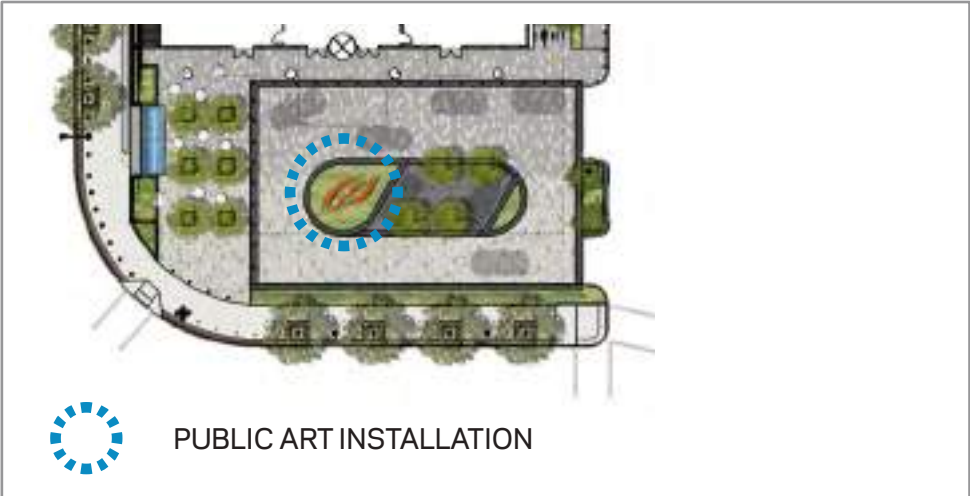
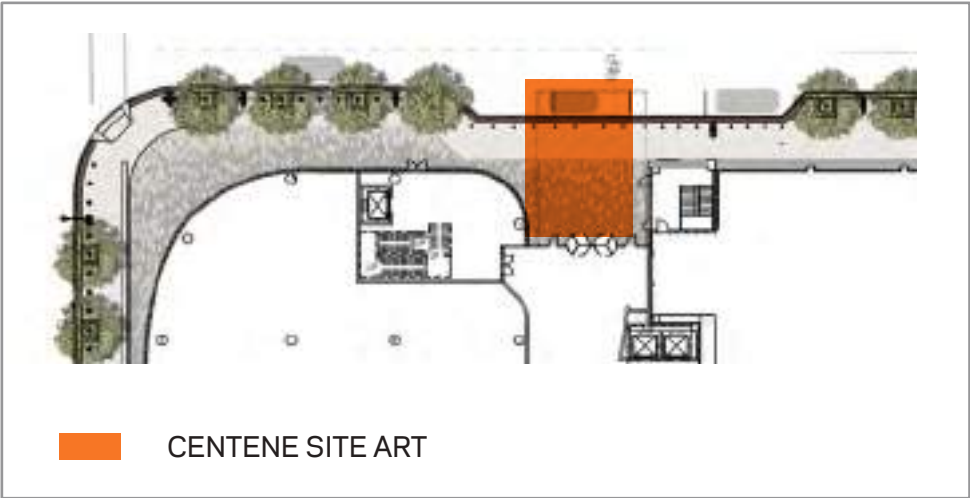
Public Art Opportunities - SD1



 PUBLIC ART INSTALLATION

 CENTENE SITE ART

Public Art Opportunities - SD1



DISCUSSION and Q + A

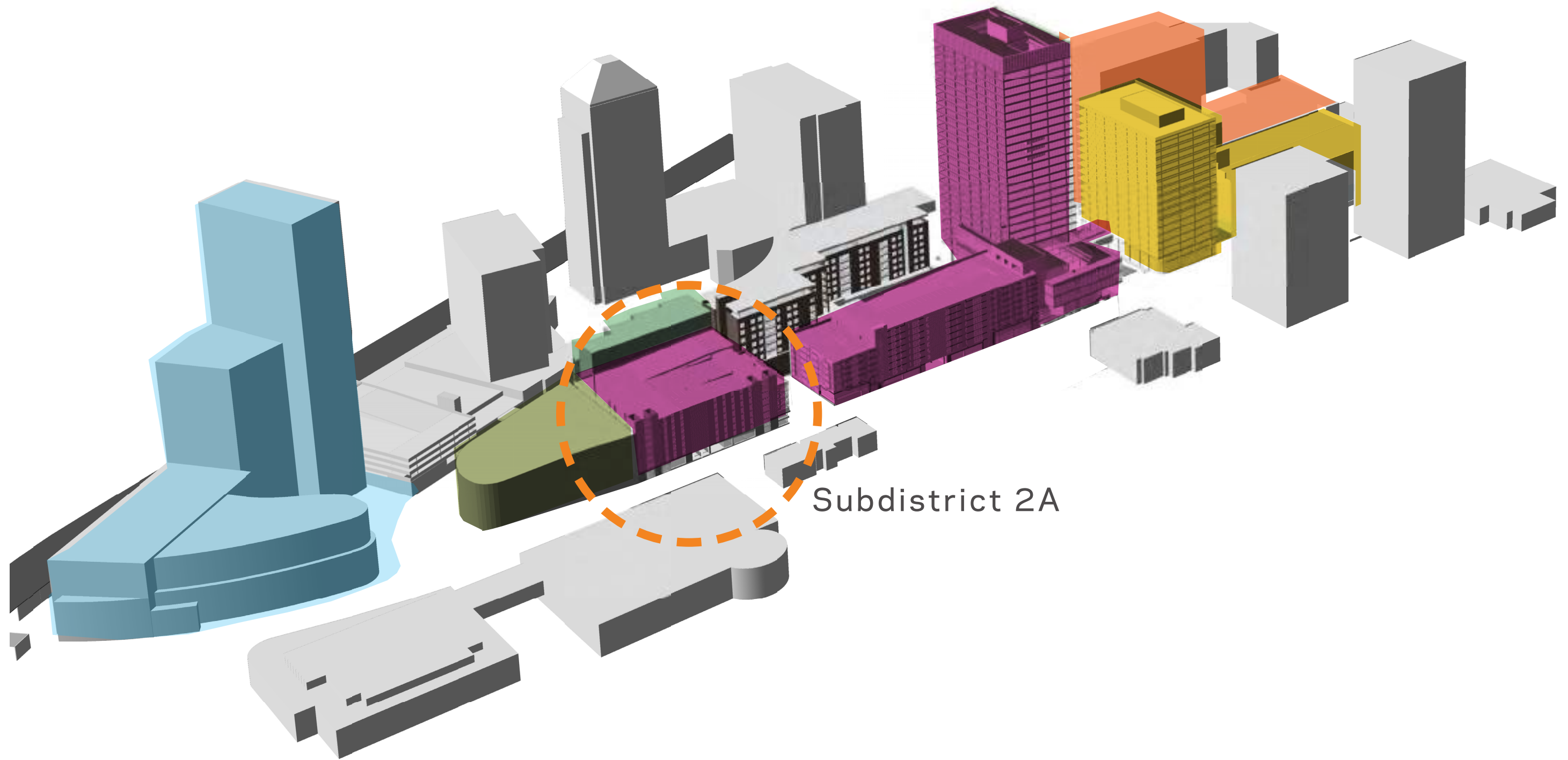


CENTENE CLAYTON CAMPUS, Subdistrict 1



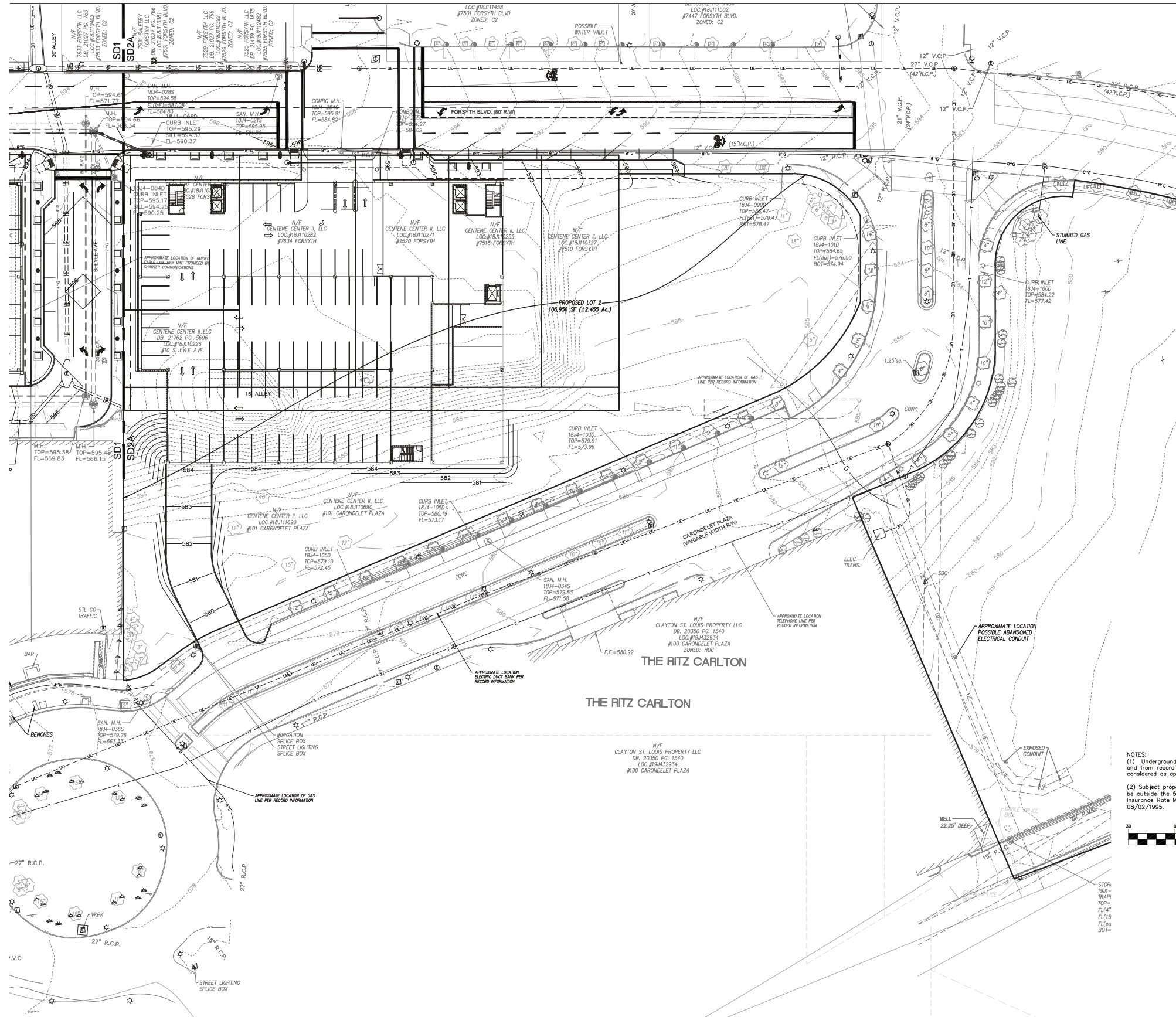
SPECIAL DEVELOPMENT SUBDISTRICT 2A
SDD + Site Plan Review + Architectural Review Board ReSubmittal
December 5, 2016





Subdistrict 2A

SD2A Site Development



GENERAL NOTES:

- 1) ALL UTILITIES SHOWN HAVE BEEN LOCATED BY THE ENGINEER FROM AVAILABLE RECORDS. THEIR LOCATION SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR HAS THE RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES, PRIOR TO CONSTRUCTION, TO HAVE EXISTING UTILITIES FIELD LOCATED.
- 2) ALL ELEVATIONS ARE BASED ON U.S.G.S. DATUM.
- 3) BOUNDARY AND TOPOGRAPHIC SURVEY BY STOOK & ASSOCIATES.
- 4) ALL MATERIALS AND METHODS OF CONSTRUCTION TO MEET THE CURRENT STANDARDS AND SPECIFICATIONS AS REQUIRED BY THE CITY OF CLAYTON, MO.
- 5) ALL GRADED AREAS SHALL BE PROTECTED FROM EROSION BY EROSION CONTROL DEVICES AND/OR SEEDING AND MULCHING. EROSION CONTROL SHALL NOT BE LIMITED TO WHAT IS SHOWN ON THE PLAN. WHATEVER MEANS NECESSARY SHALL BE TAKEN TO PREVENT SILTATION AND EROSION FROM ENTERING NATURAL STREAMS AND ADJACENT ROADWAYS, PROPERTIES, AND DITCHES.
- 6) PRIOR TO BEGINNING ANY WORK ON THE SITE, THE CONTRACTOR SHALL CONTACT THE OFFICE OF THE DEVELOPER FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
- 7) GRADING CONTRACTOR SHALL INSTALL SILTATION CONTROL PRIOR TO STARTING THE GRADING. ADDITIONAL SILTATION CONTROL DEVICES MAY BE REQUIRED AS DIRECTED BY THE CITY OF CLAYTON OR THE DEVELOPER.
- 8) ALL FILLS AND BACKFILLS SHALL BE MADE OF SELECTED EARTH MATERIALS, FREE FROM BROKEN MASONRY, ROCK, FROZEN EARTH, RUBBISH, ORGANIC MATERIAL AND DEBRIS.
- 9) GRADING CONTRACTOR SHALL KEEP EXISTING ROADWAYS PAVED OF MUD AND DEBRIS AT ALL TIMES.
- 10) PROPOSED CONTOURS SHOWN ARE FINISHED ELEVATIONS ON CLEAN AREAS. CONTRACTOR TO GRADE ALL AREAS TO REQUIRED SUBGRADE.
- 11) NO GRADE SHALL EXCEED 3:1 SLOPE.
- 12) ALL FILL PLACED UNDER PROPOSED STORM AND SANITARY SEWER LINES AND/OR PAVED AREAS SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED AASHTO T-99 COMPACTION TEST OR 90% OF MAXIMUM DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST AASHTO T-99. ALL TEST SHALL BE VERIFIED BY A SOILS ENGINEER CONCURRENT WITH GRADING AND BACKFILLING OPERATIONS.
- 13) A FOUNDATION PERMIT IS REQUIRED FROM CITY OF CLAYTON PLANNING & DEVELOPMENT DEPARTMENT AND RIGHT OF WAY WORK PERMIT FROM THE PUBLIC WORKS DEPARTMENT PRIOR TO ANY GRADING ON SITE.
- 14) INTERM STORMWATER DRAINAGE CONTROL IN THE FORM OF SILTATION CONTROL MEASURES ARE REQUIRED.
- 15) THE DEVELOPER IS REQUIRED TO PROVIDE ADEQUATE STORMWATER SYSTEMS IN ACCORDANCE WITH THE CITY OF CLAYTON AND M.S.D. STANDARDS.
- 16) ALL STORMWATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE NATURAL DISCHARGE POINTS.
- 17) ADEQUATE TEMPORARY OFF-STREET PARKING SHALL BE PROVIDED FOR CONSTRUCTION EMPLOYEES. PARKING ON NON-SURFACED AREAS SHALL BE PROHIBITED IN ORDER TO ELIMINATE THE CONDITION WHEREBY MUD FROM CONSTRUCTION AND EMPLOYEE VEHICLES IS TRACKED ONTO THE PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVING CONDITIONS.
- 18) DRIVEWAYS, SIDEWALKS, CURBS AND GUTTERS ARE TO BE INSTALLED IN ACCORDANCE WITH THE STANDARDS PRESCRIBED BY CLAYTON'S DEPARTMENT OF PUBLIC WORKS.
- 19) CONSTRUCTION ON FORSYTH, CARONDELET, AND ALL ALLEYS SHALL BE BUILT TO CITY STANDARDS.
- 20) STREETSCAPE SHALL BE BUILT TO CITY OF CLAYTON STANDARDS.
- 21) UTILITIES AROUND PROJECT AND ON PER PROJECT SITE, SHALL BE UNDERGROUND.
- 22) ALL WORK IN THE CITY OF CLAYTON RIGHT OF WAY REQUIRES A ROW WORK PERMIT FROM THE CITY OF CLAYTON PUBLIC WORKS DEPARTMENT (314) 290-8540. THE GENERAL CONTRACTOR IS REQUIRED TO APPLY FOR ROW WORK PERMITS FOR ALL UTILITY WORK, PAVEMENT CUTS OR ANY OTHER OPERATIONS THAT PLACE MATERIAL, EQUIPMENT OR LABOR WITHIN THE CITY ROW PRIOR TO STARTING WORK.
- 23) BY CITY CODE OF ORDINANCES, WORKING HOURS ARE MONDAY THRU FRIDAY, 7 A.M. TO 6 P.M.. ALL WORK OUTSIDE THIS TIME FRAME REQUIRES A WEEKEND OR EVENING EMERGENCY WORK PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS. ONLY EMERGENCY WORK WILL BE AUTHORIZED.
- 24) STREET STRIPING SHALL BE BUILT TO THE CITY OF CLAYTON REQUIREMENTS AND ST. LOUIS COUNTY REQUIREMENTS.

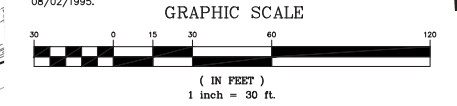
NOTE:
IRRIGATION & ELECTRICAL TAPS ARE TO BE CONNECTED PER THE CITY OF CLAYTON REQUESTS. FINAL LOCATIONS ARE TO BE COORDINATED WITH CITY.

ALL STREETSCAPE SHALL BE PER CITY OF CLAYTON REQUIREMENTS AND DETAILS.

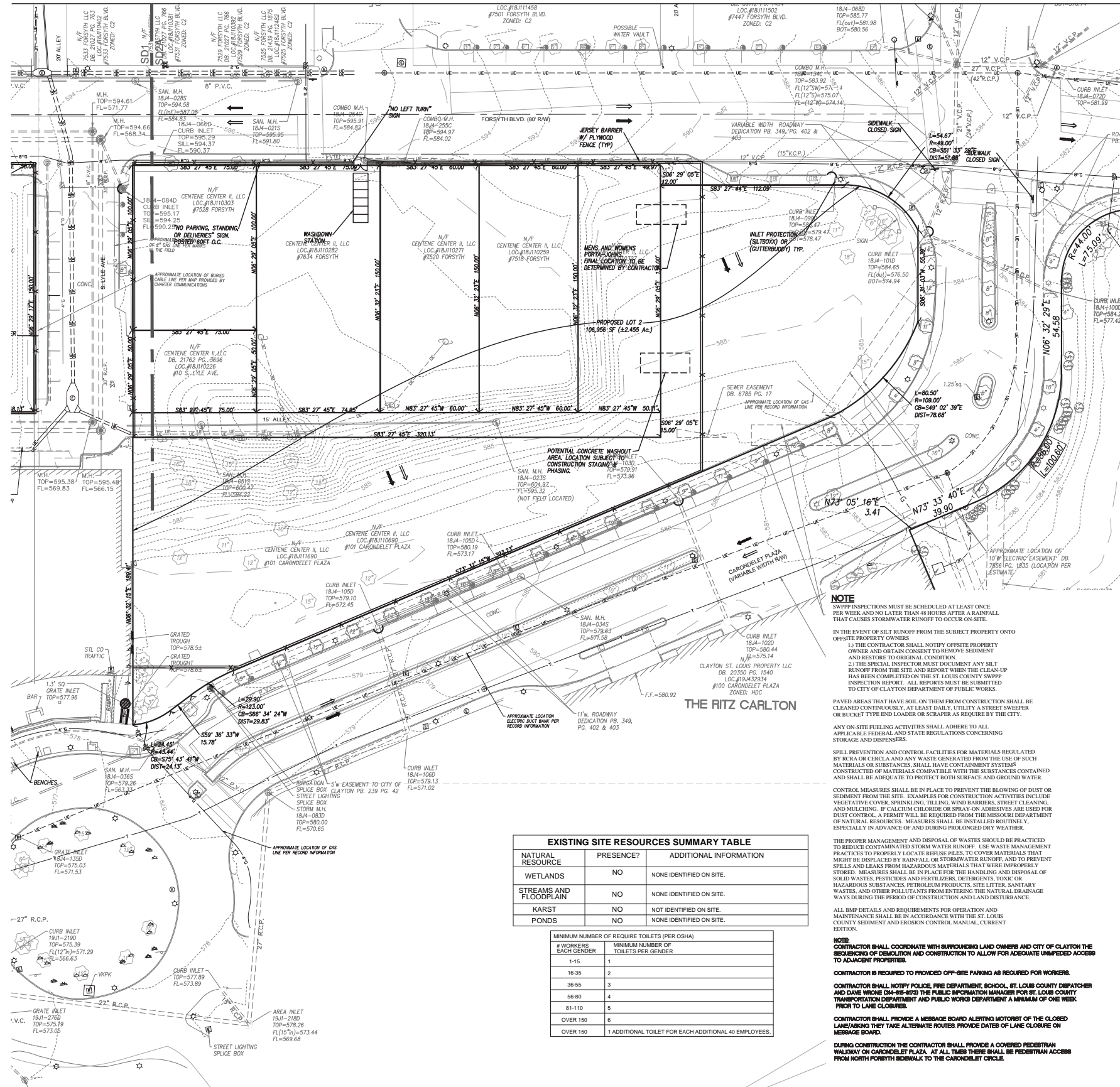
PROPERTY AREA = 1.15 AC.
EXISTING:
GRASS = (0.27 Ac) x (17.70 c.f.s./Ac) = 0.48 c.f.s.
PAVEMENT = (0.62 Ac) x (3.54 c.f.s./Ac) = 2.20 c.f.s.
ROOF = (0.26 Ac) x (4.20 c.f.s./Ac) = 1.09 c.f.s.
TOTAL = 3.75 c.f.s.
PROPOSED:
ROOF = (4.20 Ac) x (4.20 c.f.s./Ac) = 4.83 c.f.s.
TOTAL = 4.83 c.f.s.
DIFFERENTIAL:
4.83 c.f.s. - 3.75 c.f.s. = 1.08 c.f.s. (INCREASE)

NOTE:
REFER TO SHEET C101 FOR DETAILED GRADING AND STREETSCAPE LAYOUT.

NOTES:
(1) Underground utilities and facilities have been shown per survey and from record information, and their location and size should be considered as approximate only.
(2) Subject property lies within Flood Zone X (areas determined to be outside the 500-year flood) according to the National Flood Insurance Rate Map Number 29189C0189H with an effective date of 08/02/1995.



SD2A Storm Water Protection Plan



OWNER
CENTENE CENTER II, LLC
7700 FORSYTH BLVD.
ST. LOUIS, MO 63105
PHONE: 314-505-6090
CONTACT: ROBERT HARDY

CONTRACTOR
CLAYCO
2199 INNERBELT BUSINESS CENTER DRIVE
ST. LOUIS, MO 63114
PHONE: 314-592-2249
CONTACT: MIKE ZETLMEISL

TOTAL AREA DISTURBED:
2.00 Ac±

EXISTING SITE RUNOFF COEFFICIENT: 0.88
PROPOSED SITE RUNOFF COEFFICIENT: 0.88
HYDROLOGIC SOIL GROUP: D
NO RATING AVAILABLE FROM
NRCS HESBOL SURVEY.
MORRIS PERMIT NO. MCR047041

SILTATION CONTROL LEGEND

- INLET PROTECTION**
- EXISTING DRAINAGE PATTERN**
- PROPOSED DRAINAGE PATTERN**
- GUTTER BUDDY/SILT SOCK**

S.W.P.P. GENERAL NOTES

- INSPECTION OF SILTATION CONTROL DEVICES SHALL TAKE PLACE ONCE EVERY SEVEN DAYS AND WITHIN 24 HOURS OF ANY 0.5"/24 HOUR RAIN EVENT. ANY SILTATION CONTROL IN NEED OF REPAIR SHALL OCCUR IMMEDIATELY.
 - ANY DISTURBED AREAS WHICH WILL REMAIN UNWORKED FOR 5 DAYS SHALL BE STABILIZED WITH SEEDING AND MULCHING PER SPECIFICATIONS. AREAS THAT HAVE REACHED FINAL GRADES SHALL BE STABILIZED PER THE LANDSCAPE DRAWINGS. IF SEASONAL CONDITIONS PROHIBIT SEEDING, MULCHING OR MATTING SHALL BE USED. VEGETATION SHALL BECOME ESTABLISHED WITHIN TWO WEEKS.
 - ALL SLOPES OR DRAINAGE CHANNELS, ONCE CONSTRUCTED TO FINAL GRADE, SHALL BE STABILIZED WITHIN SEVEN DAYS.
 - SILTATION CONTROL SHALL BE INSTALLED IMMEDIATELY AROUND EACH STORM SEWER STRUCTURE ONCE FINAL CONSTRUCTION OF EACH INDIVIDUAL STRUCTURE IS COMPLETED.
- SILTATION CONTROL SCHEDULE IMPLEMENTATION**
- PERMETER SILTATION CONTROL, CONSTRUCTION ENTRANCES AND SILTATION CONTROL AROUND EXISTING STORM SEWER STRUCTURE TO BE INSTALLED.
 - BEGIN EXCAVATION FOR BUILDING CONSTRUCTION.
 - PLACE SILTATION CONTROL AROUND EACH STORM SEWER STRUCTURE AS IT IS COMPLETED.
 - IMMEDIATELY STABILIZE AREAS UPON REACHING FINAL GRADE.
 - ANY SOIL STOCK PILES SHALL BE STABILIZED OR COVERED AT THE END OF EACH WORK DAY.
- TEMPORARY ROADS AND PARKING AREA SPECIFICATIONS**
- EXISTING PAVEMENT SHALL BE UTILIZED FOR CONSTRUCTION TRAFFIC, PARKING, AND STAGING.
- VEGETATION**
- ALL DISTURBED AREAS SHALL BE STABILIZED WITH APPROPRIATE TEMPORARY SEEDING/MULCHING, OR SOD ACCORDING TO THE CURRENT ST. LOUIS COUNTY S & EC MANUAL. VEGETATION SHALL BECOME ESTABLISHED IN TWO WEEKS.
- MAINTENANCE**
- ANY SEEDED OR SODDED AREAS ADJACENT TO CONSTRUCTION WORK SHOULD BE CHECKED PERIODICALLY TO ENSURE THAT A WORKOUS STAND OF VEGETATION IS MAINTAINED. SWALES AND DRAINAGE STRUCTURES SHALL BE CHECKED REGULARLY TO ENSURE THEY DO NOT BECOME CLOGGED WITH SILT OR OTHER DEBRIS THROUGHOUT THE DURATION OF CONSTRUCTION.

NOTE
SWPPP INSPECTIONS MUST BE SCHEDULED AT LEAST ONCE PER WEEK AND NO LATER THAN 48 HOURS AFTER A RAINFALL THAT CAUSES STORMWATER RUNOFF TO OCCUR ON SITE.

IN THE EVENT OF SILT RUNOFF FROM THE SUBJECT PROPERTY ONTO ADJACENT PROPERTY OWNERS:

- THE CONTRACTOR SHALL NOTIFY OFFSITE PROPERTY OWNER AND OBTAIN CONSENT TO REMOVE SILT AND RESTORE TO ORIGINAL CONDITION.
- THE SPECIAL INSPECTOR MUST DOCUMENT ANY SILT RUNOFF FROM THE SITE AND REPORT WHEN THE CLEANUP HAS BEEN COMPLETED ON THE ST. LOUIS COUNTY SWPPP INSPECTION REPORT. ALL REPORTS MUST BE SUBMITTED TO CITY OF CLAYTON DEPARTMENT OF PUBLIC WORKS.

PAVED AREAS THAT HAVE SOIL ON THEM FROM CONSTRUCTION SHALL BE CLEANED CONTINUOUSLY, AT LEAST DAILY, USING A STREET SWEEPER OR BUCKET TYPE END LOADER OR SCRAPER AS REQUIRED BY THE CITY.

ANY ON SITE FUELING ACTIVITIES SHALL ADHERE TO ALL APPLICABLE FEDERAL AND STATE REGULATIONS CONCERNING STORAGE AND DISPENSERS.

SPILL PREVENTION AND CONTROL FACILITIES FOR MATERIALS REGULATED BY RCRA OR CERCLA AND ANY WASTE GENERATED FROM THE USE OF SUCH MATERIALS OR SUBSTANCES SHALL HAVE CONTAINMENT SYSTEMS CONSTRUCTED OF MATERIALS COMPATIBLE WITH THE SUBSTANCES CONTAINED AND SHALL BE ADEQUATE TO PROTECT BOTH SURFACE AND GROUND WATER.

CONTROL MEASURES SHALL BE IN PLACE TO PREVENT THE BLOWING OF DUST OR SEDIMENT FROM THE SITE. EXAMPLES FOR CONSTRUCTION ACTIVITIES INCLUDE VEGETATIVE COVER, SPRINKLING, TILLING, WIND BARRIERS, STREET CLEANING, AND MULCHING. IF CALCIUM CHLORIDE OR SPRAY ON ADHESIVES ARE USED FOR DUST CONTROL, A PERMIT WILL BE REQUIRED FROM THE MISSOURI DEPARTMENT OF NATURAL RESOURCES. MEASURES SHALL BE INSTALLED ROUTINELY, ESPECIALLY IN ADVANCE OF AND DURING PROLONGED DRY WEATHER.

THE PROPER MANAGEMENT AND DISPOSAL OF WASTES SHOULD BE PRACTICED TO REDUCE CONTAMINATED STORM WATER RUNOFF. USE WASTE MANAGEMENT PRACTICES TO PROPERLY LOCATE REFUSE PILES, TO COVER MATERIALS THAT MIGHT BE DISPLACED BY RAINFALL OR STORMWATER RUNOFF, AND TO PREVENT SPILLS AND LEAKS FROM HAZARDOUS MATERIALS THAT WERE IMPROPERLY STORED. MEASURES SHALL BE IN PLACE FOR THE HANDLING AND DISPOSAL OF SOIL WASTES, PESTICIDES AND FERTILIZERS, DETERGENTS, TOXIC OR HAZARDOUS SUBSTANCES, PETROLEUM PRODUCTS, SITE LITTER, SANITARY WASTES, AND OTHER PESTICIDES FROM ENTERING THE NATURAL DRAINAGE WAYS DURING THE PERIOD OF CONSTRUCTION AND LAND DISTURBANCE.

ALL BMP DETAILS AND REQUIREMENTS FOR OPERATION AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE ST. LOUIS COUNTY SEDIMENT AND EROSION CONTROL MANUAL, CURRENT EDITION.

NOTE
CONTRACTOR SHALL COORDINATE WITH SURROUNDING LAND OWNERS AND CITY OF CLAYTON THE SCHEDULING OF DEMOLITION AND CONSTRUCTION TO ALLOW FOR ADEQUATE UNIMPEDED ACCESS TO ADJACENT PROPERTIES.

CONTRACTOR IS REQUIRED TO PROVIDE OFF-SITE PARKING AS REQUIRED FOR WORKERS.

CONTRACTOR SHALL NOTIFY POLICE, FIRE DEPARTMENT, SCHOOL, ST. LOUIS COUNTY DISPATCHER AND DANE WISNE (314-816-8170) THE PUBLIC INFORMATION MANAGER FOR ST. LOUIS COUNTY TRANSPORTATION DEPARTMENT AND PUBLIC WORKS DEPARTMENT A MINIMUM OF ONE WEEK PRIOR TO LANE CLOSURE.

CONTRACTOR SHALL PROVIDE A MESSAGE BOARD ALTHOUGH MOTORIST OF THE CLOSED LANE/ROADWAY THEY TAKE ALTERNATE ROUTES. PROVIDE DATES OF LANE CLOSURE ON MESSAGE BOARD.

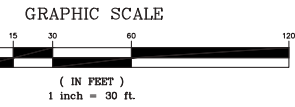
DURING CONSTRUCTION THE CONTRACTOR SHALL PROVIDE A COVERED PEDESTRIAN WALKWAY ON CARONDELET PLAZA. AT ALL TIMES THERE SHALL BE PEDESTRIAN ACCESS FROM NORTH FORTH SIDEWALK TO THE CARONDELET CIRCLE.

ST. LOUIS COUNTY NOTES

- INTERIM STORMWATER DRAINAGE CONTROL IN THE FORM OF SILTATION CONTROL MEASURES ARE REQUIRED.
- THE DEVELOPER IS REQUIRED TO PROVIDE ADEQUATE STORMWATER SYSTEMS IN ACCORDANCE WITH ST. LOUIS COUNTY AND MSD STANDARDS.
- INTERNAL (PRIVATE) STORM SEWERS WILL REQUIRE A SEPARATE DRAINLAYER PERMIT FROM ST. LOUIS COUNTY DEPARTMENT OF PUBLIC WORKS.
- ALL CONSTRUCTION SHALL BE PER MOST CURRENT DETAILS LOCATED IN THE ST. LOUIS COUNTY DESIGN CRITERIA MANUAL AND/OR THE SEDIMENT AND EROSION CONTROL MANUAL.
- ANY LAND CLEARING, CONSTRUCTION, OR DEVELOPMENT INVOLVING THE MOVEMENT OF EARTH SHALL BE IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN, AND THE PERSON ISSUED A LAND DISTURBANCE PERMIT ASSUMES AND ACKNOWLEDGES RESPONSIBILITY FOR COMPLIANCE WITH THE ST. LOUIS COUNTY LAND DISTURBANCE CODE AND THE APPROVED STORMWATER POLLUTION PREVENTION PLAN AT THE SITE OF THE PERMITTED ACTIVITY.
- PRIOR TO ANY MAJOR LAND DISTURBANCE ACTIVITY, A LAND DISTURBANCE PERMIT FROM THE STATE OF MISSOURI DEPARTMENT OF NATURAL RESOURCES WILL BE REQUIRED.
- ALL WORK WITHIN ST. LOUIS COUNTY RIGHT OF WAY SHALL BE TO COUNTY STANDARDS.
- ALL DISTURBED EARTH AREAS WITHIN ST. LOUIS COUNTY RIGHT-OF-WAY SHALL BE SODDED.
- ADDITIONAL SILTATION CONTROL SHALL BE INSTALLED AS REQUIRED BY THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC.
- CLEARING, EXCEPT THAT NECESSARY TO ESTABLISH SEDIMENT CONTROL DEVICES, SHALL NOT BEGIN UNTIL ALL SEDIMENT CONTROL DEVICES HAVE BEEN INSTALLED AND HAVE BEEN TESTED.

DEMOLITION NOTES

- THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING ANY WORK THAT WILL AFFECT AN EXISTING UTILITY.
- REMOVAL AND/OR ABANDONMENT OF EXISTING SEWERS SHALL BE IN ACCORDANCE WITH THE STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWER AND DRAINAGE FACILITIES OF THE METROPOLITAN ST. LOUIS SEWER DISTRICT, LATEST EDITION.
- CONTRACTOR SHALL OBTAIN HAUL ROUTE APPROVAL FROM THE CITY OF CLAYTON PUBLIC WORKS DEPARTMENT PRIOR TO COMMENCEMENT OF HAULING OPERATIONS.
- REMOVAL OF PAVEMENT, CURB & GUTTER, SIDEWALKS, ETC. SHALL BE TO THE NEAREST EXISTING JOINT OR FULL DEPTH SAWCUT AT LIMITS OF REMOVAL.
- CONSTRUCTION DEBRIS AND LITTER, INCLUDING BUT NOT LIMITED TO, CONDUIT, DUCTS, FITTINGS, VALVES, PIPES AND OTHER DEBRIS TO BE REMOVED, SHALL BE DISPOSED OF OFF-SITE, AND IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- USE OF EXPLOSIVES OR BURNING IS NOT PERMITTED.
- CONTRACTOR TO PROVIDE ALL NECESSARY FENCING, BARRICADES, SIGNAGE, ETC. FOR PEDESTRIAN SAFETY DURING SITE DEMOLITION/CONSTRUCTION ACTIVITIES.
- EXISTING PROPERTY CORNERS AND/OR SURVEY MONUMENTS DISTURBED BY CONSTRUCTION TO BE REMOVED AND REPLACED BY LICENSED SURVEYOR IN MISSOURI.
- CONTRACTOR TO REMOVE AND REPLACE EXISTING ELECTRICAL CONDUIT, WIRING, JUNCTION BOXES AND APPURTENANCES AS NEEDED FOR FIELD CONSTRUCTION.

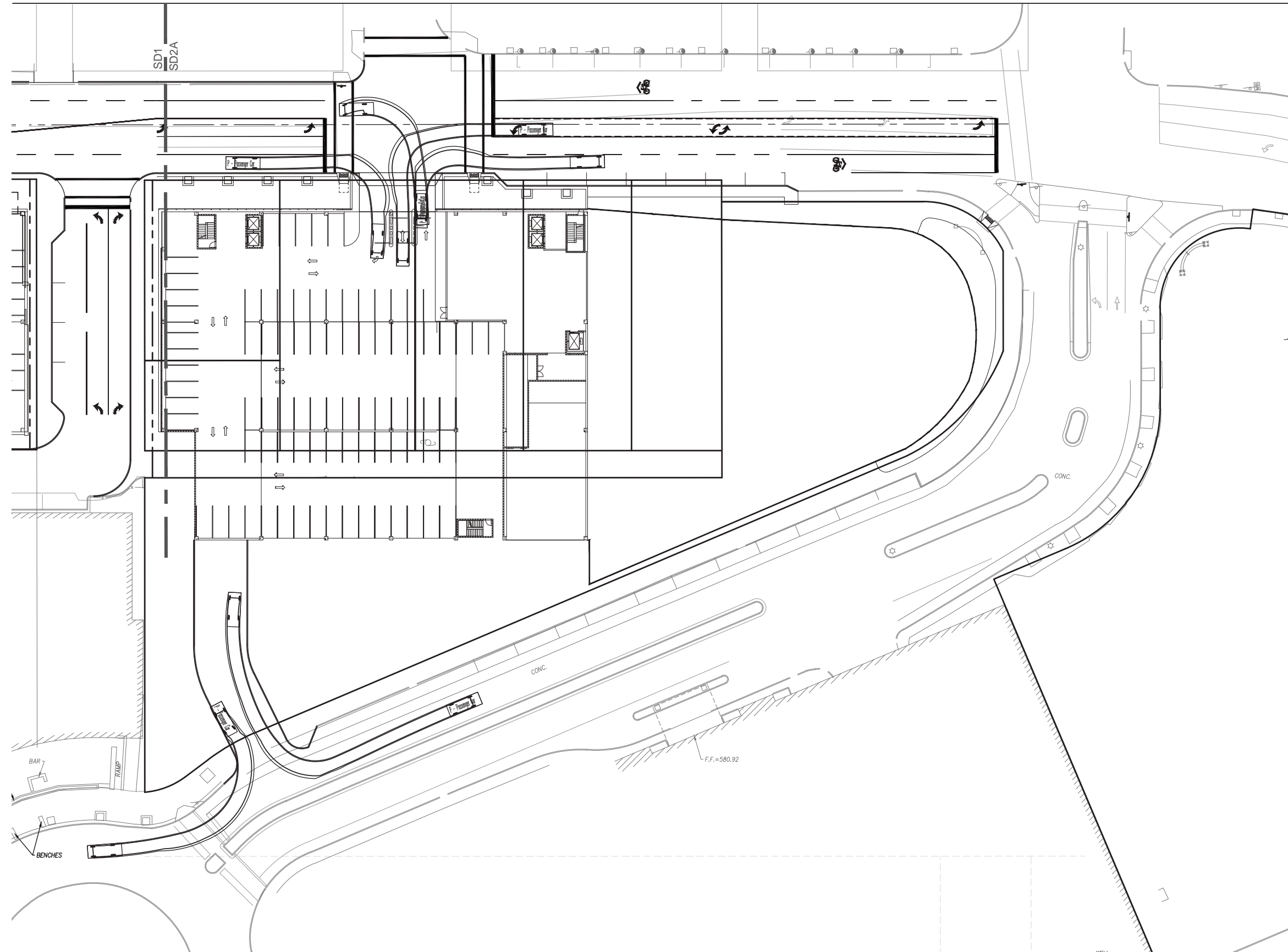


EXISTING SITE RESOURCES SUMMARY TABLE

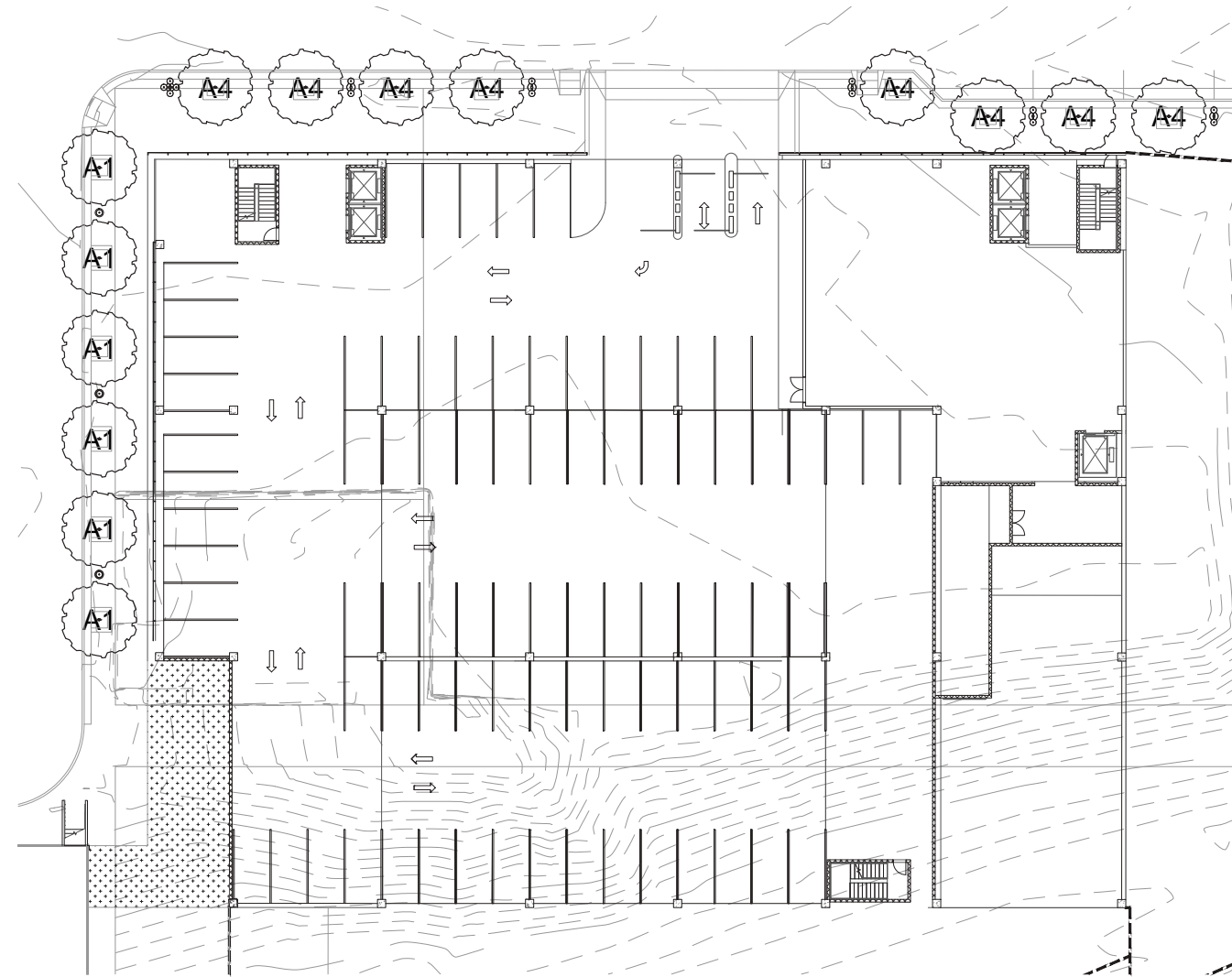
NATURAL RESOURCE	PRESENCE?	ADDITIONAL INFORMATION
WETLANDS	NO	NONE IDENTIFIED ON SITE.
STREAMS AND FLOODPLAIN	NO	NONE IDENTIFIED ON SITE.
KARST	NO	NOT IDENTIFIED ON SITE.
PONDS	NO	NONE IDENTIFIED ON SITE.

MINIMUM NUMBER OF RESTROOM TOILETS (PER OSHA)	
# WORKERS EACH GENDER	MINIMUM NUMBER OF TOILETS PER GENDER
1-15	1
16-35	2
36-55	3
56-80	4
81-110	5
OVER 150	6
OVER 150	1 ADDITIONAL TOILET FOR EACH ADDITIONAL 40 EMPLOYEES.

SD2A Auto Turn



SD2A Tree Planting Plan



1 TREE PLANTING PLAN
1" = 20'-0"

LEGEND

-  STREET TREE
-  SOD

PLANT SCHEDULE

No.	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING	COMMENTS
STREET TREES						
A1	8	<i>Grisea bicolor</i> 'Purpurea Berry'	Purplon Berry Dogwood	3" cal.	As Shown	Per Details, 0420
A2	4	<i>Platanus x acerifolia</i> 'Morton Cecel'	Excelsior Lorain Platanus	3" cal.	As Shown	Per Details, 0420
A3	14	<i>Taxodium distichum</i> 'Michauxii'	Stamens Irons Bald Cypress	3" cal.	As Shown	Per Details, 0420
A4	15	<i>Ulmus parvifolia</i> 'Tom F'	Alleé Lacatan Elm	3" cal.	As Shown	Per Details, 0420

SD2A Site Plan



SD2A Site Material Palette



1 GRANITE STEPS



2 GRANITE COBBLES



3 GRANITE PAVERS



4 GRANITE PAVERS



5 CONCRETE PAVERS



6 CONCRETE PAVERS



7 CONCRETE HEXAGONAL PAVERS



8 CONCRETE PLANK PAVERS



NOTES:
 1. COLORS WOULD APPLY TO BIKE RACKS, CAFE TABLES AND CHAIRS, AND TRASH / RECYCLING RECEPTACLES.
 2. MANUFACTURER: LANDSCAPFORMS

10 SITE FURNISHINGS SELECTED COLOR PALETTE

SD2A Landscape Palette



Tulip Tree



Black Gum



Honeylocust



Swamp White Oak



River Birch



London Planetree



Kentucky Coffeetree

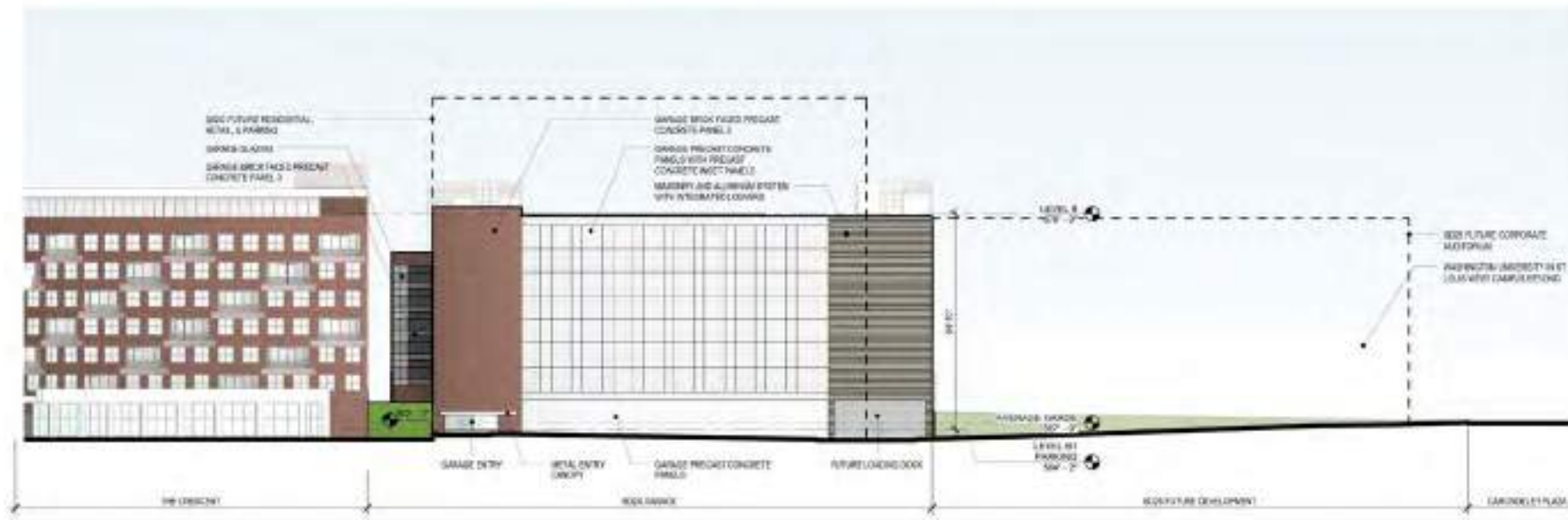


Shawnee Brave Bald Cypress

SD2A Elevations

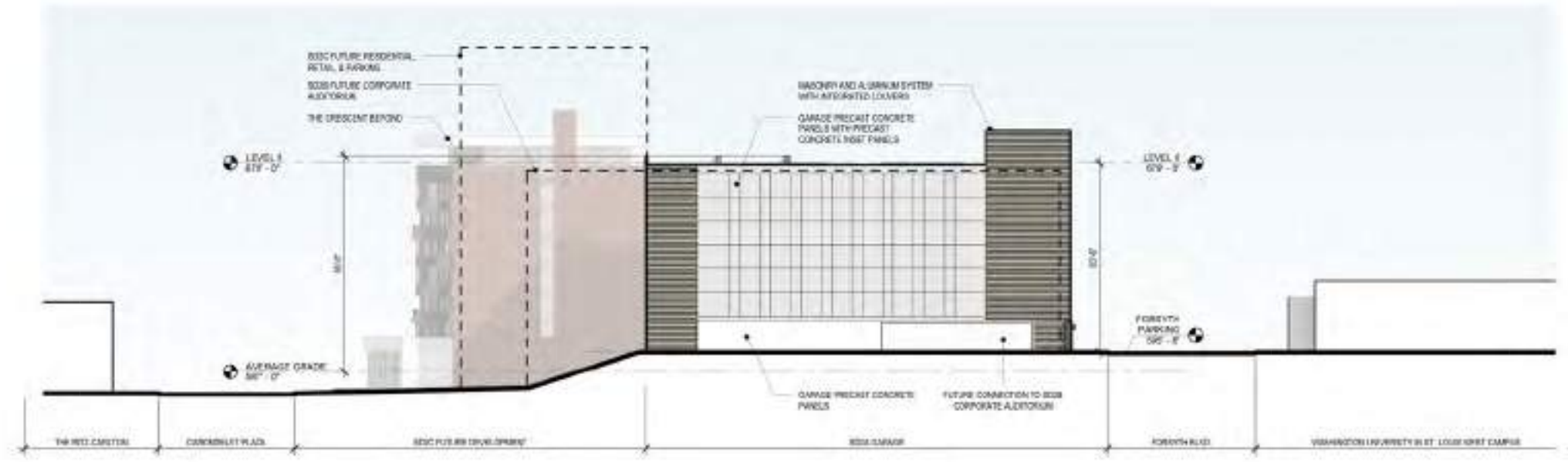


1 EXTERIOR ELEVATION - NORTH - FORSYTH BLVD
1/8" = 1'-0"

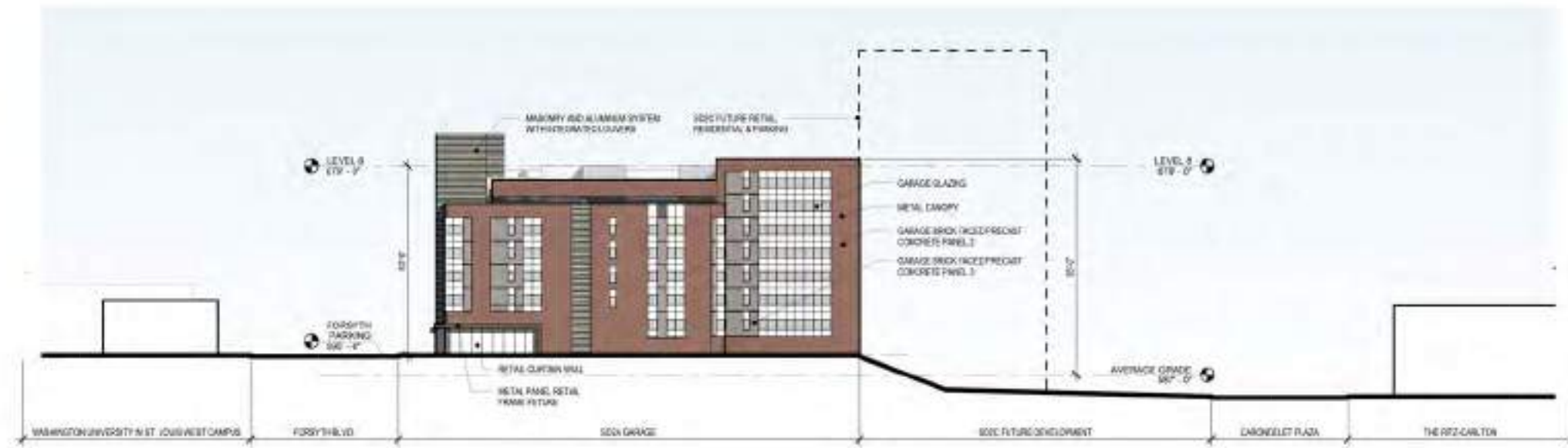


2 EXTERIOR ELEVATION - SOUTH - CARONDELET PLAZA
1/8" = 1'-0"

SD2A Elevations

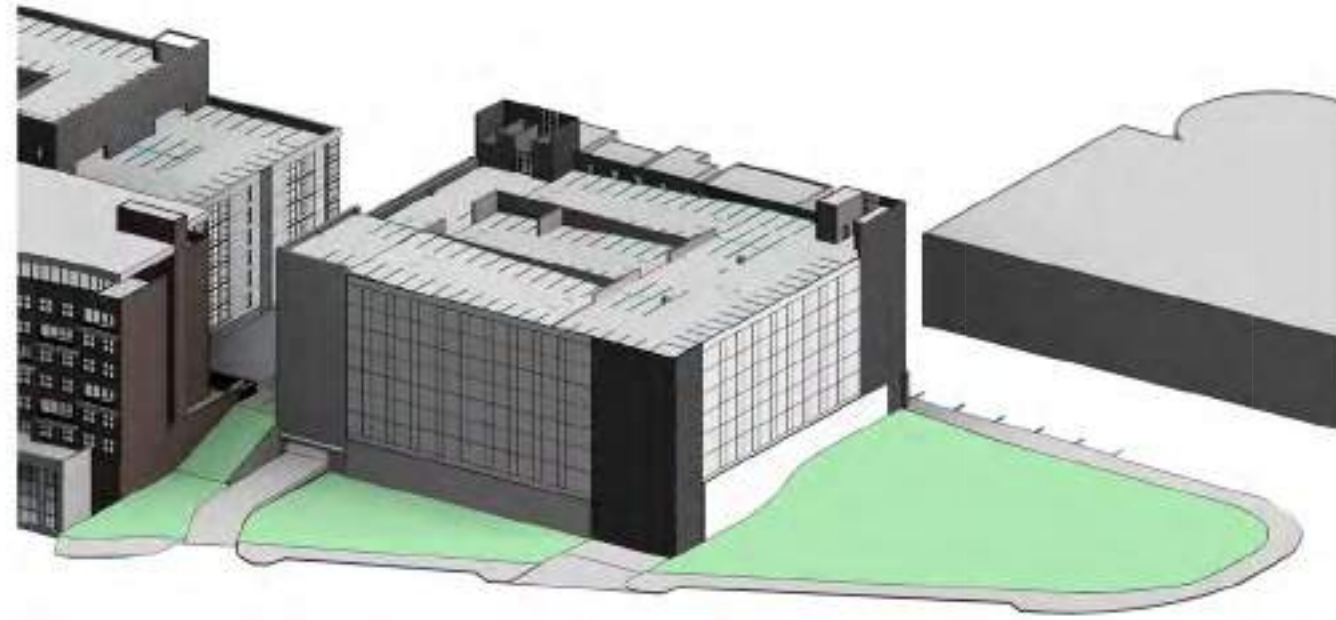


1 EXTERIOR ELEVATION - EAST - CARONDELET PLAZA
1/32" = 1'-0"

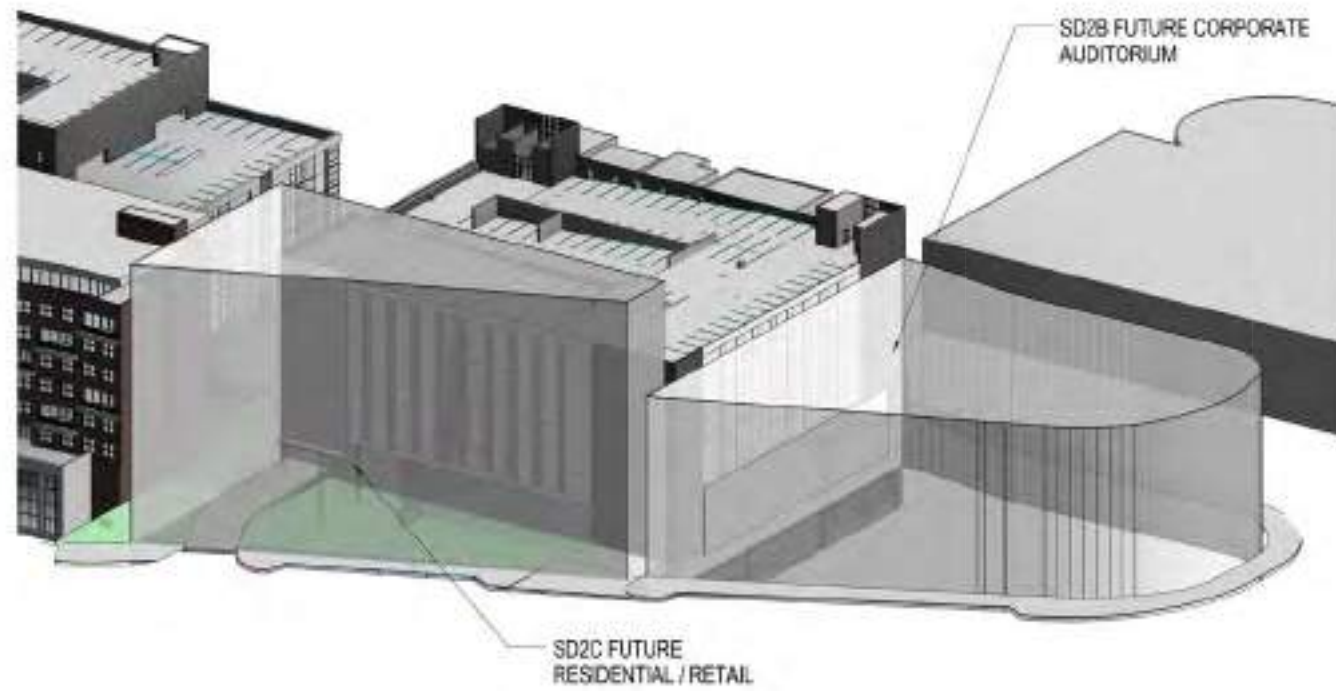


2 EXTERIOR ELEVATION - WEST - LYLE AVE
1/32" = 1'-0"

SD2A Massing

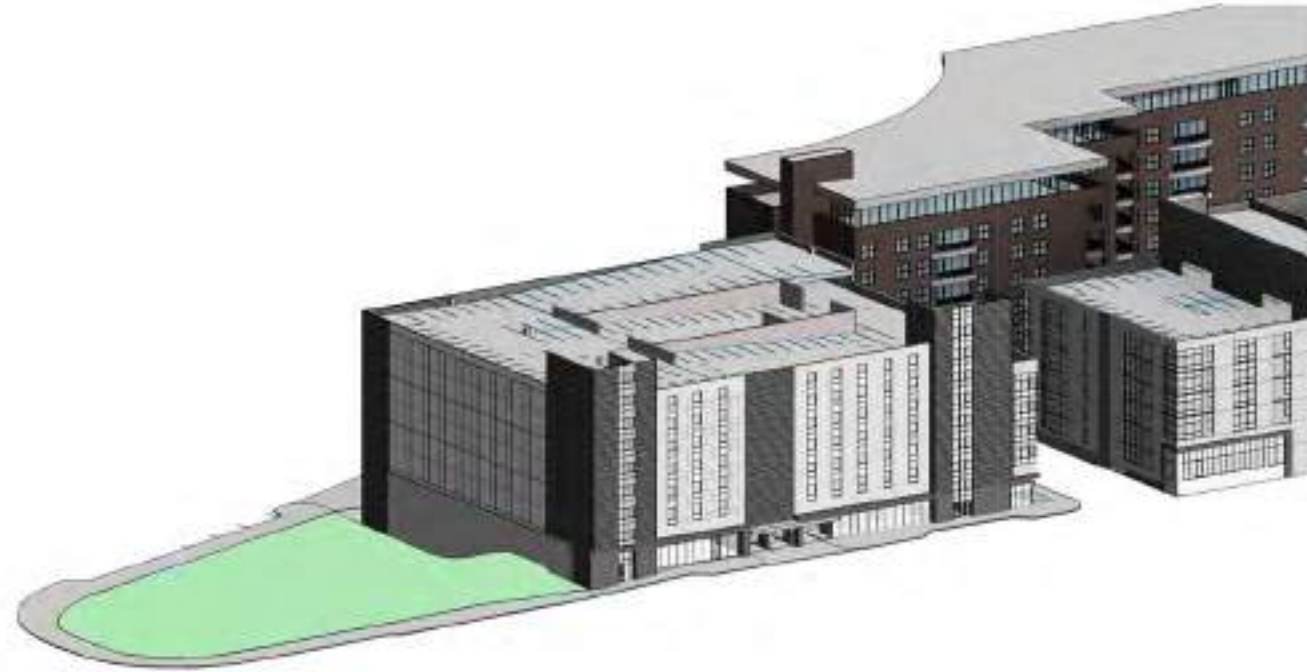


2 ISOMETRIC AT CARONDELET PLAZA LOCKING NORTHWEST - DAY ONE

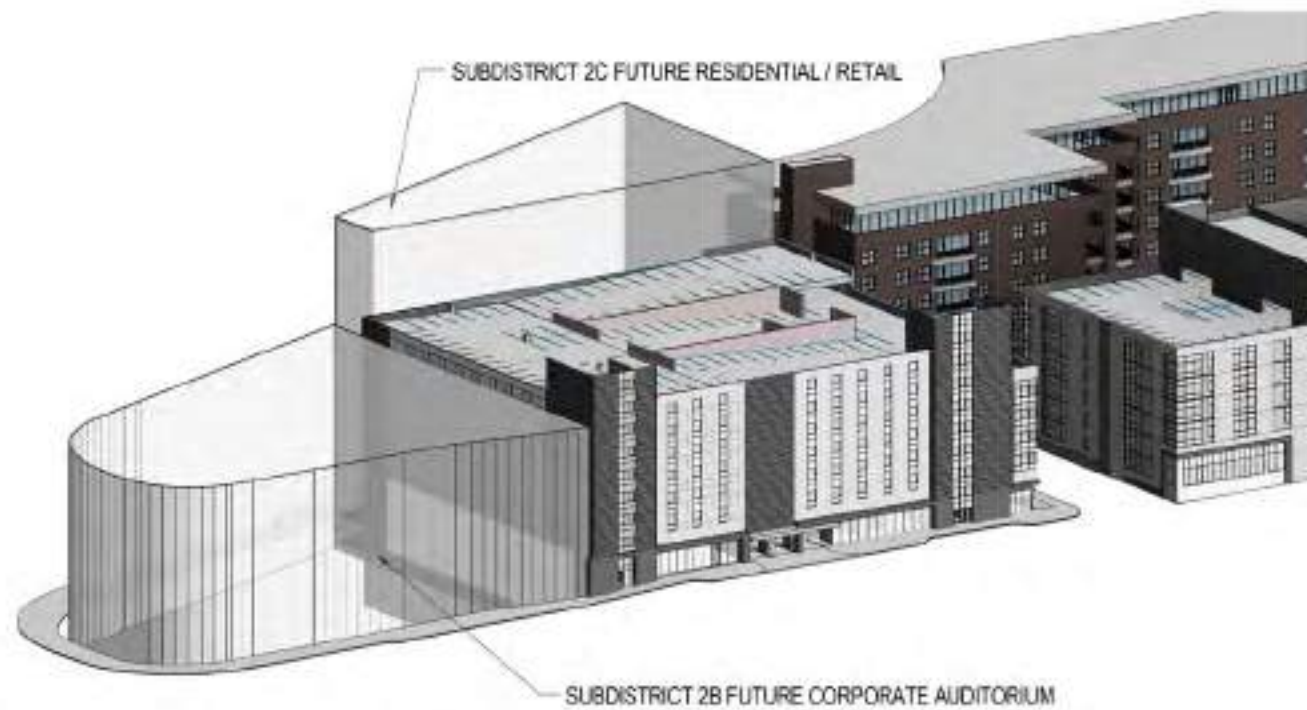


1 ISOMETRIC AT CARONDELET PLAZA LOCKING NORTHWEST - FUTURE DEVELOPMENT

SD2A Massing

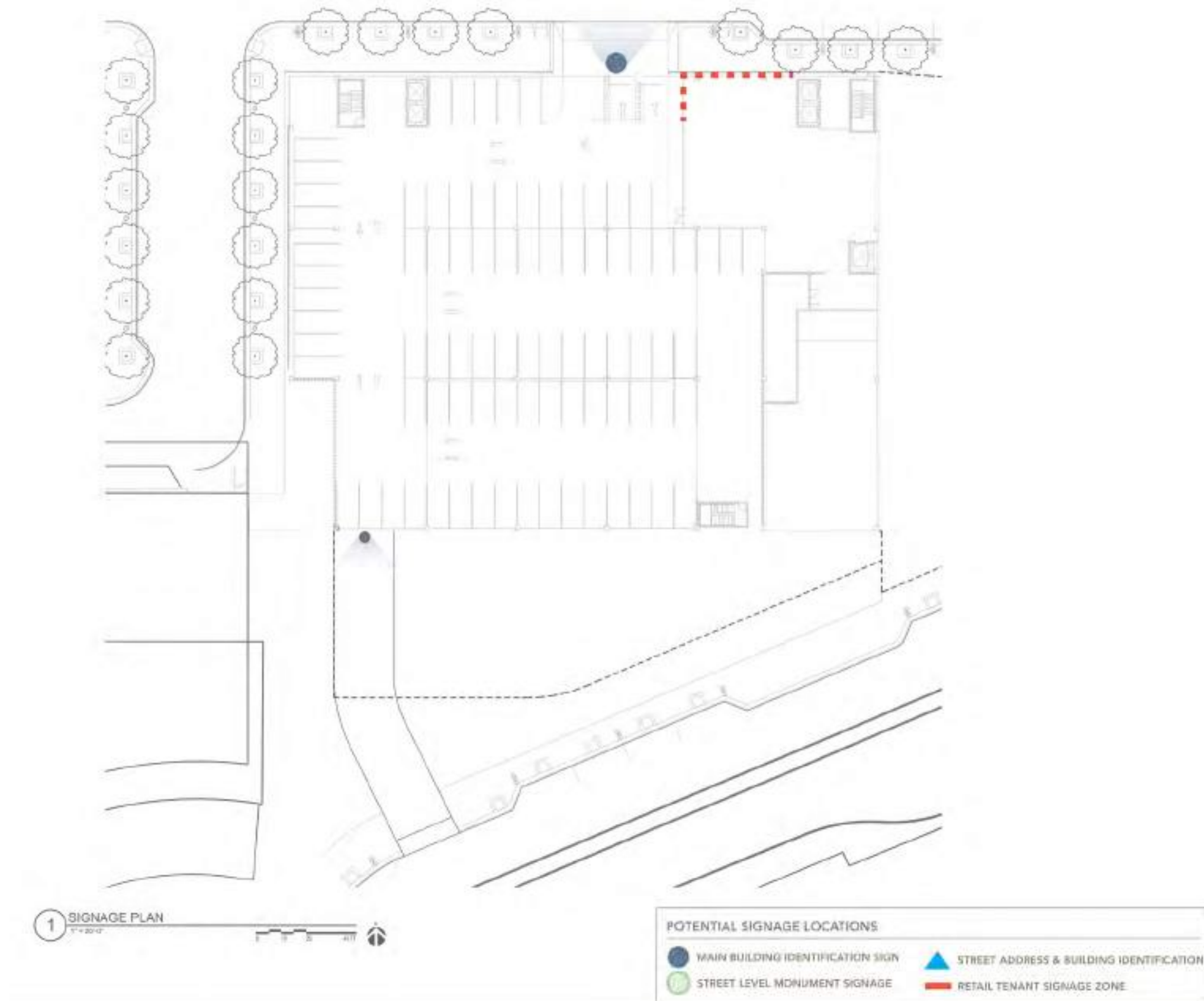


2 ISOMETRIC AT FORSYTH BLVD LOOKING SOUTHWEST - DAY ONE

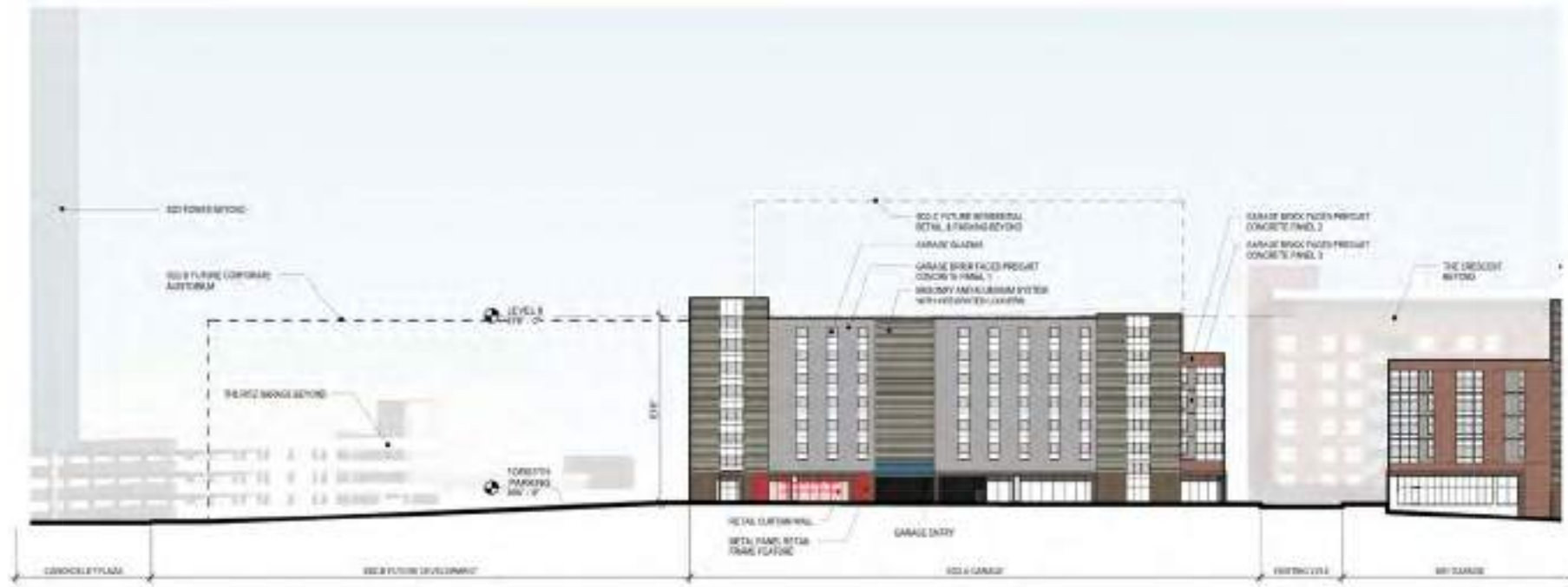


1 ISOMETRIC AT FORSYTH BLVD LOOKING SOUTHWEST - FUTURE DEVELOPMENT

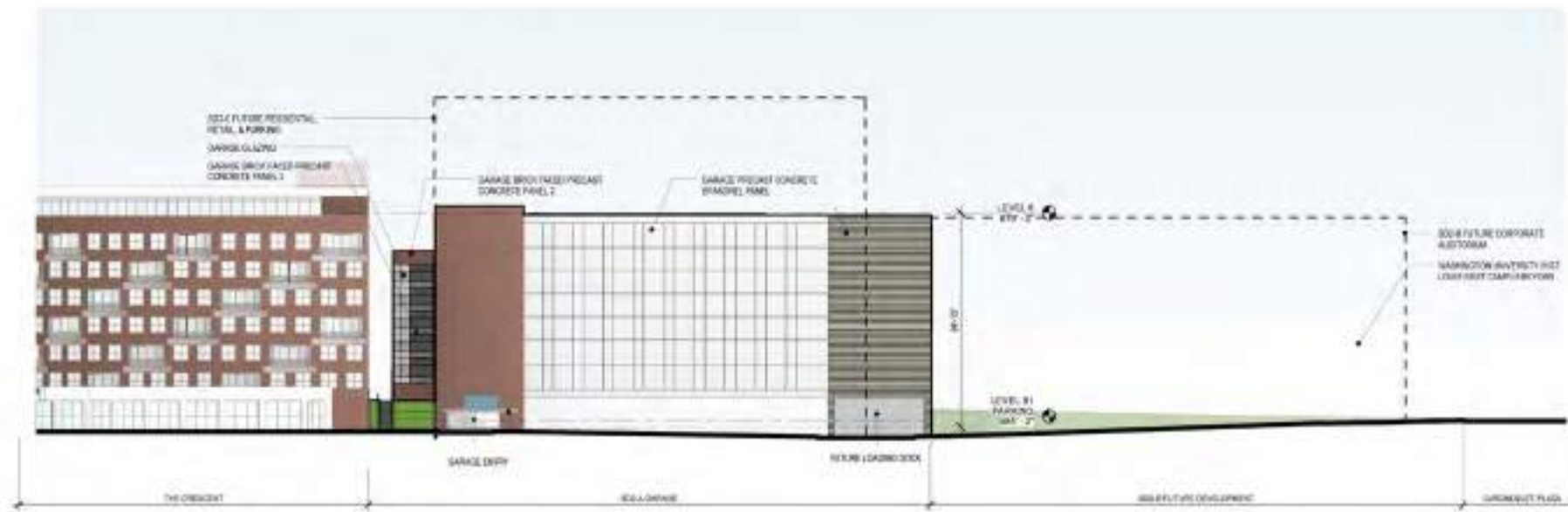
SD2A Signage



SD2A Signage



1 EXTERIOR ELEVATION - NORTH - FORSYTH BLVD
1/8" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH - CARONDELET PLAZA
1/8" = 1'-0"

POTENTIAL SIGNAGE LOCATIONS

- MAIN BUILDING IDENTIFICATION SIGN
- STREET LEVEL MONUMENT SIGNAGE
- ▲ STREET ADD
- RETAIL TENANT

DISCUSSION and Q + A



CENTENE CLAYTON CAMPUS, Subdistrict 2A